

Bastrop, TX City Council Meeting Agenda

This meeting will be live streamed on the City of Bastrop Facebook Page (www.facebook.com/bastropTX) and broadcast on Spectrum channel 10 and AT&T uVerse channel 99. A recording of the meeting will also be available within 72 hours after the meeting on the City's YouTube channel (Bastrop TX Network) and in the Agendas & Minutes section of the City website (www.cityofbastrop.org).



July 28, 2020 at 6:30 P.M.

City of Bastrop City Council meetings are available to all persons regardless of disability. If you require special assistance, please contact the City Secretary at (512) 332-8800 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.

The City Council reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed below, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development).

The City Council reserves the right to reconvene, recess, or realign the Regular Session, Executive Session, or order of business at any time prior to adjournment. All matters listed below shall be eligible for both discussion and action, unless otherwise specifically noted.

PLEASE NOTE: ANYONE WISHING TO ADDRESS THE COUNCIL MUST COMPLETE A CITIZEN COMMENT FORM WITH COMMENTS AT WWW.CITYOFBASTROP.ORG/CITIZENCOMMENTFORM BEFORE 5:00 P.M. ON JULY 28, 2020. SUBMITTED COMMENTS WILL BE READ ALOUD AT THE MEETING. COMMENTS FROM EACH INDIVIDUAL WILL BE LIMITED TO THREE (3) MINUTES WHEN READ ALOUD.

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

TEXAS PLEDGE OF ALLEGIANCE

Honor the Texas Flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.

3. INVOCATION - Council Member Ennis

4. PRESENTATIONS

4A. Mayor's Report

4B. Councilmembers' Report

4C. City Manager's Report

5. WORK SESSION/BRIEFINGS

5A. Presentation and discussion of the City of Bastrop Water and Wastewater Impact Fees with Chris Ekrut from NewGen Strategies and Solutions.

6. STAFF AND BOARD REPORTS

6A. Receive presentation on the Quarterly Investment Report for the period ending June 30, 2020.

6B. Receive presentation on the unaudited Monthly Financial Report for the period ending June 30, 2020.

7. CITIZEN COMMENTS

Anyone wishing to address the Council, must complete a citizen comment form with comments at www.cityofbastrop.org/citizencommentform before 5:00 p.m. on July 28, 2020. Submitted comments will be read aloud at the meeting. Comments from each individual will be limited to three (3) minutes when read aloud.

In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, City Council cannot discuss issues raised or make any decision at this time. Instead, City Council is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to City Staff for research and possible inclusion on a future agenda.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Council to allow a member of the public to slur the performance, honesty and/or integrity of any person or threaten any person. Accordingly, profane, insulting or threatening language will not be read aloud at the meeting.

8. CONSENT AGENDA

The following may be acted upon in one motion. A Councilmember or a citizen may request items be removed from the Consent Agenda for individual consideration.

8A. Consider action to approve City Council minutes from the July 14, 2020 Regular meeting.

8B. Consider action to approve the second reading of Ordinance No. 2020-19 of the City Council of the City of Bastrop, Texas, amending the development standards for the Bastrop Grove Residential Planned Development District with a residential base use for 67.111 acres out of the Nancy Blakey Survey, Abstract 98, Located south of Agnes Street and east of State Highway 304, within the city limits of Bastrop, Texas; as shown in Exhibits A & B; including a severability clause; establishing an effective date.

- 8C. Consider action to approve the second reading of Ordinance No. 2020-20 of the City Council of the City of Bastrop, Texas, amending the budget for the Fiscal Year 2020 in accordance with existing statutory requirements; appropriating the various amounts herein as attached in Exhibit A; repealing all prior ordinances and actions in conflict herewith; and establishing an effective date.

9. ITEMS FOR INDIVIDUAL CONSIDERATION

- 9A. Consider and adopt on first and final reading Ordinance No. 2020-22 as an emergency measure ratifying temporary Emergency Orders enacted by the Mayor in her capacity as Emergency Management Director in regards to the current Local State of Disaster, for the immediate preservation of the public peace, health or safety.
- 9B. Hold public hearing and consider action to approve the first reading of Ordinance No. 2020-21 of the City of Bastrop, Texas updating and amending Bastrop Code of Ordinances, Chapter 13, Article 13.12, entitled "Impact Fees", updating the land use assumptions, capital improvement plan and amending impact fees for water and wastewater utilities, as attached in Exhibits A-E; providing for findings of fact, enactment, enforcement, a repealer, and severability; establishing an effective date; proper notice and meeting; and move to include on the August 11, 2020 Consent agenda for a second reading.

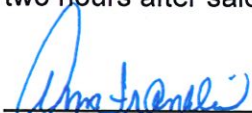
10. EXECUTIVE SESSION

- 10A. City Council shall convene into closed executive session pursuant to Sections 551.071 and 551.072 of the Texas Government Code to deliberate the acquisition of property associated with Fairview Cemetery.
- 10B. City Council shall convene into closed executive session pursuant to Texas Government Code Sections 551.071 and 551.072, to seek the advice of legal counsel, and to deliberate upon the acquisition of real property interests associated with the construction of Wastewater Treatment Plant #3 at 385 SH 304, Unit B, Bastrop, TX 78602, and its collections systems, including all related agreements, authorizations, easements, resolutions, and associated legal actions.

11. TAKE ANY NECESSARY OR APPROPRIATE ACTION ON MATTERS POSTED FOR CONSIDERATION IN CLOSED/EXECUTIVE SESSION

12. ADJOURNMENT

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public, as well as to the City's website, www.cityofbastrop.org and said Notice was posted on the following date and time: Thursday, July 23, 2020 at 1:00 p.m. and remained posted for at least two hours after said meeting was convened.



Ann Franklin, City Secretary



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 4A

TITLE:

Mayor's Report

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager

POLICY EXPLANATION:

Texas Local Government Code, Section 551.045 – Governing Body of Municipality or County: Reports about Items of Community Interest Regarding Which No Action Will Be Taken:

(a) Notwithstanding Sections 551.041 and 551.042, a quorum of the governing body of a municipality or county may receive from staff of the political subdivision and a member of the governing body may make a report about items of community interest during a meeting of the governing body without having given notice of the subject of the report as required by this subchapter if no action is taken and, except as provided by Section 551.042, possible action is not discussed regarding the information provided in the report.

(b) For purposes of Subsection (a), "items of community interest" includes:

- (1) expressions of thanks, congratulations, or condolence;
- (2) information regarding holiday schedules;
- (3) an honorary or salutary recognition of a public official, public employee, or other citizen, except that a discussion regarding a change in the status of a person's public office or public employment is not an honorary or salutary recognition for purposes of this subdivision;
- (4) a reminder about an upcoming event organized or sponsored by the governing body;
- (5) information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the political subdivision; and
- (6) announcements involving an imminent threat to the public health and safety of people in the political subdivision that has arisen after the posting of the agenda.

ATTACHMENTS:

- Power Point Presentation



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 4B

TITLE:

Councilmembers' Report

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager

POLICY EXPLANATION:

Texas Local Government Code, Section 551.045 – Governing Body of Municipality or County: Reports about Items of Community Interest Regarding Which No Action Will Be Taken:

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- (6) announcements involving an imminent threat to the public health and safety of people in the political subdivision that has arisen after the posting of the agenda.



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 4C

TITLE:

City Manager's Report

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager

POLICY EXPLANATION:

Texas Local Government Code, Section 551.045 – Governing Body of Municipality or County: Reports about Items of Community Interest Regarding Which No Action Will Be Taken:

(a) Notwithstanding Sections 551.041 and 551.042, a quorum of the governing body of a municipality or county may receive from staff of the political subdivision and a member of the governing body may make a report about items of community interest during a meeting of the governing body without having given notice of the subject of the report as required by this subchapter if no action is taken and, except as provided by Section 551.042, possible action is not discussed regarding the information provided in the report.

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- (6) announcements involving an imminent threat to the public health and safety of people in the political subdivision that has arisen after the posting of the agenda.



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 5A

TITLE:

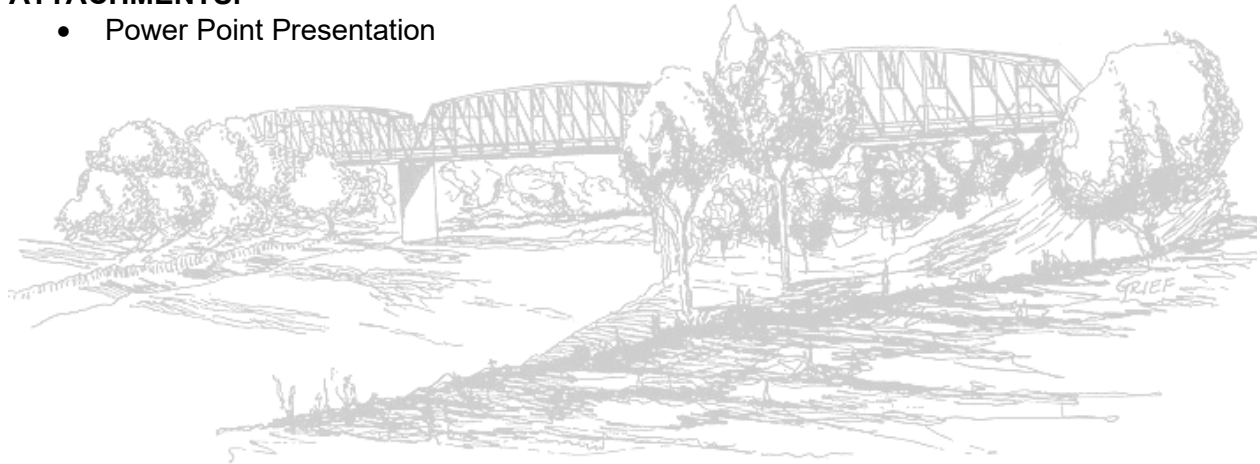
Presentation and discussion of the City of Bastrop Water and Wastewater Impact Fees with Chris Ekrut from NewGen Strategies and Solutions.

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager

ATTACHMENTS:

- Power Point Presentation





June 25, 2020

CITY OF BASTROP, TEXAS WATER AND WASTEWATER IMPACT FEE UPDATE

NewGen
Strategies & Solutions

IMPACT FEES

What are they?

- Mechanism that allows municipalities the ability to recover infrastructure costs associated with future development
 - New construction or facility expansion to serve future development during the next ten (10) years
- Governed by Chapter 395 of the Texas Local Government Code
 - *“Impact Fee means a charge or assessment imposed by a political subdivision against new development in order to generate revenue for funding or recouping the costs of capital improvements or facility expansions necessitated by and attributable to the new development”*

Texas Local Government Code §395.001

IMPACT FEES

What costs are
recoverable?

- Construction
- Surveying and Engineering
- Land Acquisition and Associated Costs
- Financing Costs
- Engineering Costs Associated with Land Use/Capital Improvements Planning and/or Financial Consulting Associated with Developing Impact Fees (Not Employed by the City)

IMPACT FEES

What costs
are not
recoverable?

- Capital Improvement Projects NOT Identified in the Impact Fee CIP
- Operations and Maintenance Costs
- Improvements Associated with Existing Deficiencies
- Administrative and Operational Costs of the City
- Non-Impact Fee CIP Debt Service
- SB 883 – exempts school districts from impact fees unless board consents by entering into contractual agreement (effective May 25, 2007)

IMPACT FEES

How are they
calculated?

- Land Use and Population Projections
- Capital Improvements Plan (Master Plan)
 - Description of existing facilities and the costs to meet existing needs and deficiencies
 - Analysis of existing capacity and commitments
 - Description of capital improvements and associated costs attributable to new development based on the approved Land Use Assumptions
 - Projected new service units based on approved Land Use Assumptions
 - Develop 10-year Impact Fee CIP and costs

IMPACT FEES

How are they
calculated?
(Continued)

- Financing Costs
- Revenue Credit Calculation or 50% Credit
 - Revenue Credit Calculation – a credit for the portion of ad valorem tax and/or utility service revenues generated by new service units during the program period (10-years) that is used for payment of projects included in the Impact Fee CIP
- Maximum Assessable Impact Fee

$$\text{Impact Fee} = \frac{\text{Cost of Impact Fee CIP} - \text{Credit}}{\text{New Service Units}}$$

IMPACT FEE STUDY

Key Assumptions

- Utilized a 3% Growth Factor
- Within next ten years:
 - 2,100 New Water Connections
 - 1,921 New Wastewater Connections
- 35 Water CIP Projects were included
- 22 Wastewater CIP Projects were included

WATER IMPACT FEE CIP

Description	Total Project Amount	% for 2020-2030 Growth	Impact Fee Eligible
Water Supply	\$ 25,603,388	9.66%	\$ 2,473,287
Water Pumping	4,311,706	20.86%	899,422
Ground Storage	2,233,942	13.33%	297,784
Elevated Storage	2,705,800	12.17%	329,296
Transmission Lines	25,409,087	45.50%	11,561,135
Impact Fee Study	9,250	100.00%	9,250
	\$ 60,273,173		\$15,570,174

WATER IMPACT FEE CALCULATIONS

Line	Description	2019	2020
1	Recoverable Cost for Impact Fee Planning Period	\$ 7,841,146	\$ 15,570,174
2	Add: Financing Costs	\$ 1,682,506	\$ 4,296,588
3	Less: Interest Earnings	(\$ 755,858)	(\$ 2,289,082)
4	Less: Existing Fund Balance	(\$ 393,161)	(\$ 319,012)
5	Recoverable Cost of Water Impact Fee and Financing Costs Less Balance	\$ 8,374,632	\$ 17,258,668
6	Divide: Additional Service Units Added During Planning Period	2,346	2,100
7	Maximum Assessable Fee	\$ 3,569	\$ 8,218
8	Fee with 50% Credit (Max Assessable Fee)	\$ 1,785	\$ 4,109
9	Current Water Impact Fee	\$ 1,353	\$ 1,785
10	Variance	\$ 432	\$ 2,324

WASTEWATER IMPACT FEE CIP

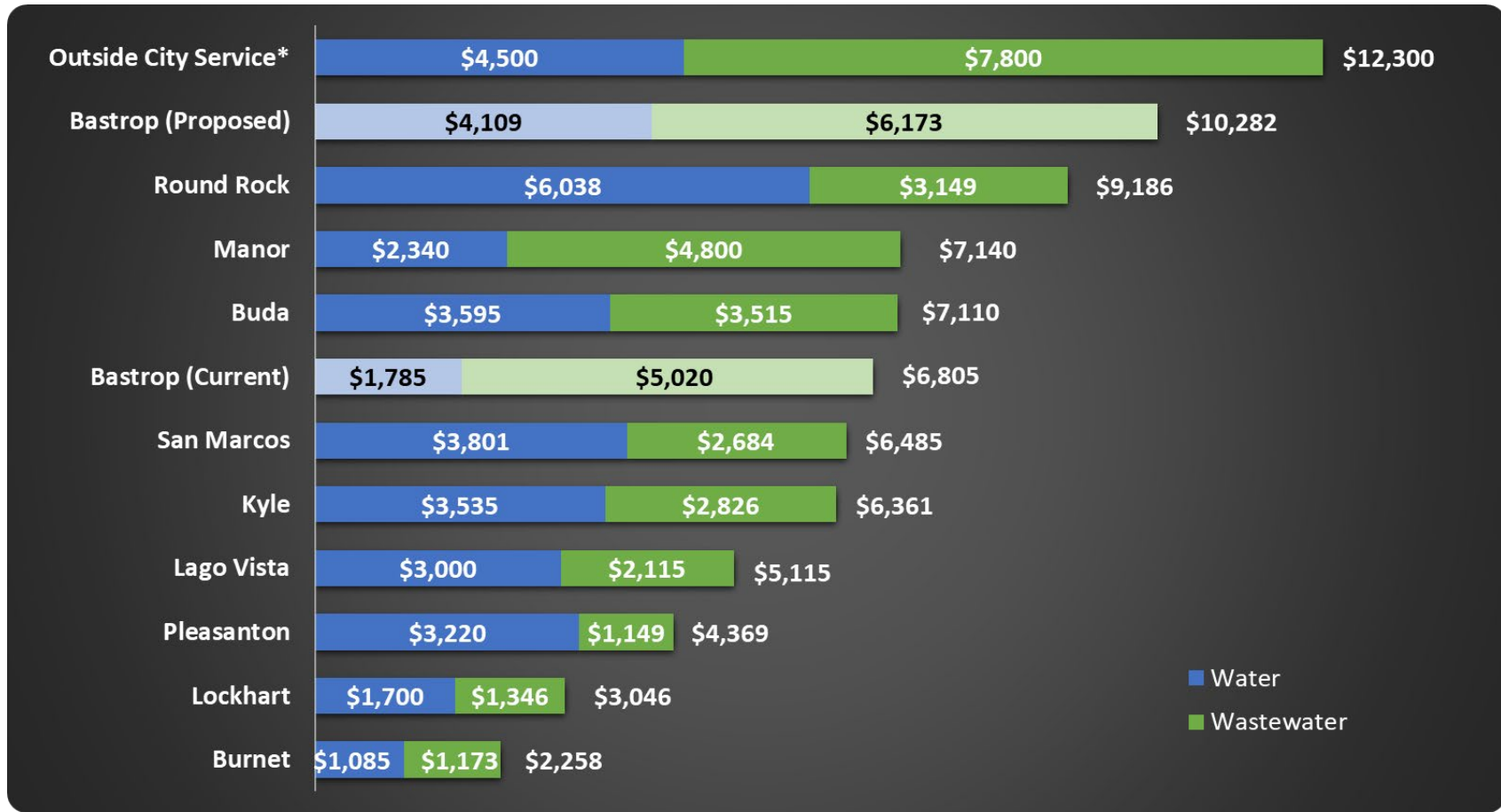
Description	Total Project Amount	% for 2020-2030 Growth	Impact Fee Eligible
Wastewater Treatment	\$ 25,358,232	17.36%	\$4,402,189
Wastewater Pumping	1,703,660	22.40%	381,620
Major Collection Lines	15,749,253	100.00%	15,749,253
Impact Fee Study	9,250	100.00%	9,250
Total	\$ 42,820,395		\$20,542,312

WASTEWATER IMPACT FEE CALCULATIONS

Line	Description	2019	2020
1	Recoverable Cost for Impact Fee Planning Period	\$ 20,254,461	\$ 20,542,312
2	Add: Financing Costs	\$ 8,863,498	\$ 9,000,806
3	Less: Interest Earnings	(\$ 5,252,206)	(\$ 5,310,754)
4	Less: Existing Fund Balance	(\$ 720,805)	(\$ 517,050)
5	Recoverable Cost of Wastewater Impact Fee and Financing Costs Less Balance	\$ 23,144,947	\$ 23,715,314
6	Divide: Additional Service Units Added During Planning Period	2,150	1,921
7	Maximum Assessable Fee	\$ 10,039	\$ 12,345
8	Fee with 50% Credit (Max Assessable Fee)	\$ 5,020	\$ 6,173
9	Current Wastewater Impact Fee	\$ 3,554	\$ 5,020
10	Variance	\$ 1,466	\$ 1,153

RATE RECOMMENDATIONS

- Set the maximum impact fee per service unit equal to a 3/4-inch connection using the 50% credit method for both water and wastewater impact fees
 - Water Impact Fee - \$ 4,109 for a ¾” Meter
 - Wastewater Impact Fee - \$ 6,173 for a ¾” Meter
- Assess escalating fees by meter size based on capacity values from the AWWA Manual M1, Principles of Water Rates, Fees and Charges, 6th edition, 2012



REGIONAL COMPARISON

Impact Fees (3/4-inch meter)

*Outside City Service represents water meter fee from Aqua WSC and cost of septic installation.



QUESTIONS AND DISCUSSION

NEWGEN STRATEGIES AND SOLUTIONS
275 W. CAMPBELL ROAD, SUITE 440
RICHARDSON, TEXAS 75080

CHRIS EKRU, DIRECTOR
972-232-2234
CEKRUT@NEWGENSTRATEGIES.NET



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 6A

TITLE:

Receive presentation on the Quarterly Investment Report for the period ending June 30, 2020.

STAFF REPRESENTATIVE:

Tracy Waldron, Chief Financial Officer

BACKGROUND/HISTORY:

The Chief Financial Officer has been slow diversifying the funds available for investment to increase the rate of return we have seen in the past while safekeeping our principle. As you can see from this report, we have expanded our Certificates of Deposits, and purchased some agency funds, which are yielding a better rate of return than the investment pools.

POLICY EXPLANATION:

This reporting requirement is set forth by the Public Funds Investment Act, Texas Government Code, Chapter 2256 and is also a requirement of the City of Bastrop Financial Management Policies, Chapter VIII. ASSET MANAGEMENT, Section C. INVESTMENT PERFORMANCE, as adopted by Resolution R-2019-90 on October 22, 2019.

FUNDING SOURCE:

NA

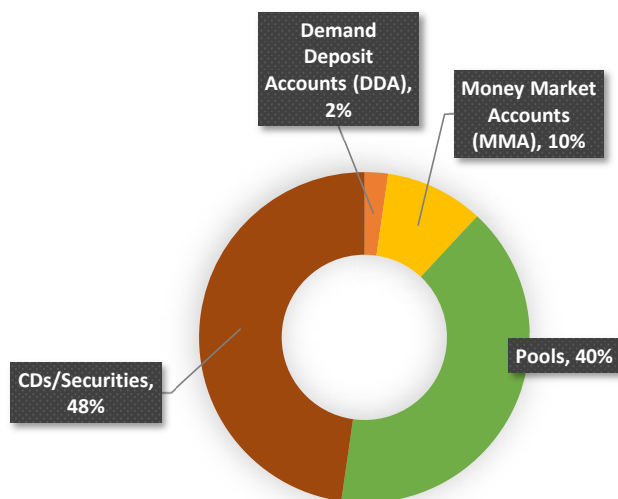
ATTACHMENTS:

- Quarterly Investment Report for the period ending June 30, 2020.

City of Bastrop
Quarterly Investment Report
Portfolio Summary
period ending June 30, 2020

Investments Description	March 31, 2020		June 30, 2020		QTD	YTD	Weighted Average Maturity
	Book Value	Market Value	Book Value	Market Value	Interest Earned	Interest Earned	
Demand Deposit Accounts (DDA)	\$ 358,915	\$ 358,915	\$ 635,290	\$ 635,290	\$ 963	\$ 8,443	0.02
Money Market Accounts (MMA)	\$ 1,275,314	\$ 1,275,314	\$ 2,650,442	\$ 2,650,442	\$ 62	\$ 2,349	0.10
Pools	\$ 13,711,410	\$ 13,711,410	\$ 11,105,886	\$ 11,105,885	\$ 19,505	\$ 130,171	0.40
CDs/Securities	\$ 14,434,221	\$ 14,509,700	\$ 13,161,163	\$ 13,314,130	\$ 102,007	\$ 268,162	148.50
Total Investments	\$ 29,779,860	\$ 29,855,339	\$ 27,552,780	\$ 27,705,747	\$ 122,537	\$ 409,124	149.02

Policy states at least 10% of the portfolio should be in highly liquid securities we have 52%.



The investment portfolio of the City of Bastrop is in compliance with the Public Investment Act and the Investment Policy and Strategies.

Prepared by:

Tracy Waldron

Tracy Waldron, Chief Financial Officer

City of Bastrop

Detail of Investment Holdings

period ending June 30, 2020

Type	BANK/ BROKER	CUSIP #/ Account #	YIELD	MATURITY DATE	March 31, 2020 Book Value	Purchase/ Adjustments	Sales/Adjust/ Call/Maturity	June 30, 2020 Book Value	June 30, 2020 Market Value
DDA	FNB-Pooled Cash				\$ 358,915			\$ 635,290	\$ 635,290
MMA	FNB-Escrow Acct				\$ 250,086			\$ 250,149	\$ 250,149
MMA	FNC-Dreyfus				\$ 267,040			\$ 2,370,841	\$ 2,370,841
MMA	MBS-MM Acct				\$ 758,187			\$ 29,452	\$ 29,452
Pools	Texpool				\$ 1,201,536			\$ 1,202,473	\$ 1,202,473
Pools	Texas Class				\$ 7,033,642			\$ 5,644,169	\$ 5,644,169
Pools	Texas Term				\$ 5,476,232			\$ 4,259,243	\$ 4,259,243
Security	FNMA	3135GOF73	1.64%	11/30/2020	\$ 674,173			\$ 674,173	\$ 678,632
Security	FNMA	3135GOU27	1.63%	4/13/2021	\$ 507,586			\$ 507,586	\$ 509,135
Security	FAMC	31422BSC5	1.52%	1/10/2022	\$ 399,867			\$ 399,867	\$ 407,060
Security	FHLMC	3134GVG36	0.28%	6/8/2022	\$ -		\$ 450,287	\$ 450,287	\$ 450,149
Bonds	MBS	222263G82	1.59%	11/15/2021	\$ -	\$ 184,416		\$ 184,416	\$ 183,916
Bonds	MBS	8330853W1	1.54%	12/1/2021	\$ -	\$ 134,196		\$ 134,196	\$ 133,356
Bonds	FNC	630438PE3	0.93%	1/1/2022	\$ -	\$ 104,972		\$ 104,972	\$ 103,320
CD	Frontier	501272	0.95%	5/25/2020	\$ 253,854			\$ 253,854	\$ 253,854
CD	FNC	465076KG1	2.70%	5/4/2020	\$ 246,000		\$ 246,000	\$ -	
CD	FNC	PER200EA3	2.70%	5/4/2020	\$ 200,000		\$ 200,000	\$ -	
CD	FNC	61760ALP2	2.75%	6/1/2020	\$ 246,000		\$ 246,000	\$ -	
CD	FNC	46176PHV0	2.75%	6/1/2020	\$ 246,000		\$ 246,000	\$ -	
CD	FNC	87165FVG6	2.65%	5/4/2020	\$ 246,000		\$ 246,000	\$ -	
CD	FNC	033537AK7	2.60%	5/8/2020	\$ 213,000		\$ 213,000	\$ -	
CD	FNC	91435LAN7	2.85%	6/19/2020	\$ 249,000		\$ 249,000	\$ -	
CD	MBS	02007GDZ3	2.70%	7/27/2020	\$ 130,000			\$ 130,000	\$ 130,252
CD	FNC	72247PAC0	2.80%	8/31/2020	\$ 249,000			\$ 249,000	\$ 250,138
CD	FNC	286283AA4	2.80%	9/19/2020	\$ 249,000			\$ 249,000	\$ 250,467
CD	FNC	02007GFL2	2.90%	10/13/2020	\$ 88,000			\$ 88,000	\$ 88,712
CD	FNC	20451PWF9	3.10%	12/4/2020	\$ 246,000			\$ 246,000	\$ 249,191
CD	FNC	59013J5Q8	3.10%	12/7/2020	\$ 249,000			\$ 249,000	\$ 252,230
CD	FNC	49254FAC0	3.10%	12/21/2020	\$ 249,000			\$ 249,000	\$ 252,518
CD	MBS	02007GHL0	2.60%	2/16/2021	\$ 67,000			\$ 67,000	\$ 68,043
CD	FNC	21050BAE0	2.85%	2/22/2021	\$ 249,000			\$ 249,000	\$ 253,362
CD	FNC	903572DJ1	2.40%	7/20/2020	\$ 110,000			\$ 110,000	\$ 110,140
CD	FNC	723605AT8	2.40%	10/19/2020	\$ 249,000			\$ 249,000	\$ 250,716
CD	FNC	7954502G9	2.45%	4/19/2021	\$ 247,000			\$ 247,000	\$ 251,607
CD	FNC	17294XRM0	2.45%	4/15/2021	\$ 247,000		\$ 247,000	\$ -	
CD	FNC	33847E2G1	2.45%	5/24/2021	\$ 246,000			\$ 246,000	\$ 251,132
CD	FNC	12547CAF5	2.50%	11/23/2020	\$ 246,000			\$ 246,000	\$ 248,369
CD	FNC	649447SR1	2.45%	5/22/2020	\$ 244,000		\$ 244,000	\$ -	
CD	FNC	3495FTCJ6	2.45%	5/29/2020	\$ 244,000		\$ 244,000	\$ -	
CD	FNC	06251AW89	2.10%	7/19/2021	\$ 247,000			\$ 247,000	\$ 252,029
CD	FNC	98138MAD2	2.20%	7/23/2021	\$ 249,000			\$ 249,000	\$ 254,388
CD	FNC	48128H5S3	1.95%	8/20/2021	\$ 248,000		\$ 248,000	\$ -	
CD	FNC	32023QAL2	1.90%	2/23/2021	\$ 249,000			\$ 249,000	\$ 249,281
CD	FNC	227563AV5	1.85%	9/27/2021	\$ 247,000			\$ 247,000	\$ 252,155
CD	FNC	149159PC3	1.80%	9/27/2021	\$ 247,000			\$ 247,000	\$ 252,002
CD	FNC	45673KAX4	1.90%	4/10/2021	\$ 249,000			\$ 249,000	\$ 252,411
CD	FNC	05580ATA2	1.70%	11/22/2021	\$ 247,000			\$ 247,000	\$ 252,251
CD	FNC	50625LAN3	1.70%	11/22/2021	\$ 249,000			\$ 249,000	\$ 254,264
CD	FNC	856285RR4	1.85%	11/29/2021	\$ 247,000			\$ 247,000	\$ 252,846
CD	FNC	397129AD9	1.70%	11/27/2020	\$ 227,000			\$ 227,000	\$ 228,460
CD	FNC	474067AS4	1.90%	12/10/2021	\$ 248,000			\$ 248,000	\$ 249,967
CD	MBS	49228XAJ9	1.80%	12/10/2021	\$ 245,000			\$ 245,000	\$ 250,709
CD	MBS	310336DB5	1.60%	8/13/2021	\$ 245,000			\$ 245,000	\$ 248,925
CD	FNC	949495AE5	1.70%	12/13/2021	\$ 249,000			\$ 249,000	\$ 254,473
CD	FNC	79772FAB2	1.85%	12/30/2021	\$ 249,000			\$ 249,000	\$ 249,000
CD	MBS	33646CLT9	1.70%	10/29/2021	\$ 110,000			\$ 110,000	\$ 112,251
CD	FNC	6169OUST8	1.75%	1/31/2022	\$ 247,000			\$ 247,000	\$ 253,091
CD	MBS	949763R24	1.80%	1/18/2022	\$ 245,000			\$ 245,000	\$ 251,103
CD	MBS	72345JW2	1.70%	4/21/2021	\$ 245,000			\$ 245,000	\$ 248,085
CD	MBS	14042RCH2	1.70%	9/28/2021	\$ 25,136			\$ 25,136	\$ 25,397
CD	MBS	78658RCA7	1.65%	8/24/2020	\$ 135,000			\$ 135,000	\$ 135,319

City of Bastrop

Detail of Investment Holdings

period ending June 30, 2020

Type	BANK/ BROKER	CUSIP #/ Account #	YIELD	MATURITY DATE	March 31, 2020 Book Value	Purchase/ Adjustments	Sales/Adjust/ Call/Maturity	June 30, 2020 Book Value	March 31, 2020 Market Value
CD	MBS	06417NRD7	1.65%	12/1/2020	\$ 245,000			\$ 245,000	\$ 246,568
CD	FNC	88241TGX2	1.00%	3/25/2022	\$ 249,000			\$ 249,000	\$ 252,441
CD	FNC	084601WX7	1.20%	3/31/2022	\$ 248,000			\$ 248,000	\$ 252,347
CD	FNC	20786ACY9	1.10%	3/30/2022	\$ 121,000			\$ 121,000	\$ 122,898
CD	FNC	511640BB9	1.10%	3/30/2022	\$ 248,000			\$ 248,000	\$ 251,906
CD	FNC	654062JU3	1.15%	3/30/2022	\$ 249,000			\$ 249,000	\$ 253,123
CD	FNC	538036LB8	1.10%	3/31/2022	\$ 249,000			\$ 249,000	\$ 252,917
CD	FNC	88269ABL1	1.15%	3/31/2022	\$ 249,000		\$ 249,000	\$ -	
CD	MBS	140420Y95	1.55%	3/8/2022	\$ 25,651			\$ 25,651	\$ 25,889
CD	MBS	1404207C8	1.54%	12/20/2021	\$ 50,955			\$ 50,955	\$ 51,599
CD	MBS	066519MN6	1.25%	6/11/2020	\$ 215,000		\$ 215,000	\$ -	
CD	MBS	35633MAS1	1.40%	3/12/2021	\$ 245,000		\$ 245,000	\$ -	
CD	FNC	58404DGPO	1.35%	4/8/2022	\$ -	\$ 249,000		\$ 249,000	\$ 249,326
CD	FNC	38149MTB9	1.40%	4/22/2022	\$ -	\$ 248,000		\$ 248,000	\$ 248,960
CD	FNC	48128UCZO	0.50%	5/19/2022	\$ -	\$ 249,003		\$ 249,004	\$ 249,359
CD	MBS	15201QCu9	1.25%	9/30/2021	\$ -	\$ 245,067		\$ 245,067	\$ 248,303
CD	MBS	14042RPU9	1.25%	4/22/2022	\$ -	\$ 200,000		\$ 200,000	\$ 203,792
TOTAL					\$ 29,779,860	\$ 1,614,654	\$ 3,788,287	\$ 27,552,780	\$ 27,705,747

		BEGINNING	TOTAL	TOTAL	ENDING	AVERAGE
		BALANCE	DEBITS	CREDITS	BALANCE	DAILY
						BALANCE
WATER/WASTEWATER FUND						
202-00-00-1010	XS RANCH WELL MI	250,086.36	62.36	0.00	250,148.72	250,108.26
202-00-00-1100	TEXAS TERM	0.00	0.00	0.00	0.00	0.00
FUND 202 TOTAL		250,086.36	62.36	0.00	250,148.72	250,108.26
2019 REVENUE BOND						
261-00-00-1000	CLAIM ON CASH 20	0.00	234,389.30	234,389.30CR	0.00	1,032.17CR
261-00-00-1100	TEX TERM	482,936.04	490.32	234,389.30CR	249,037.06	408,865.44
FUND 261 TOTAL		482,936.04	234,879.62	468,778.60CR	249,037.06	407,833.27
FAIRVIEW CEMETERY-PERMAN						
526-00-00-1142	CERT OF DEPOSIT-	253,853.69	0.00	0.00	253,853.69	253,853.69
526-00-00-1148	CD - FNB	0.00	0.00	0.00	0.00	0.00
526-00-00-1149	CERT OF DEPOSIT-	130,000.00	0.00	0.00	130,000.00	130,000.00
FUND 526 TOTAL		383,853.69	0.00	0.00	383,853.69	383,853.69
2013 COMB REV/TAX BOND						
724-00-00-1100	TEXAS TERM	1,045,582.81	838.52	632,011.03CR	414,410.30	731,409.59
FUND 724 TOTAL		1,045,582.81	838.52	632,011.03CR	414,410.30	731,409.59
CO 2018 SERIES						
726-00-00-1100	TEXAS TERM CO 20	3,503,394.91	4,403.72	250,321.62CR	3,257,477.01	3,475,587.90
FUND 726 TOTAL		3,503,394.91	4,403.72	250,321.62CR	3,257,477.01	3,475,587.90
2019 LIMITED TAX NOTE						
727-00-00-1000	CLAIM ON CASH	0.00	106,545.87	106,545.87CR	0.00	37,473.39CR
727-00-00-1100	TEXAS TERM	429,349.46	527.06	106,545.87CR	323,330.65	427,264.68
FUND 727 TOTAL		429,349.46	107,072.93	213,091.74CR	323,330.65	389,791.29
CO SERIES 2020						
728-00-00-1000	CLAIM ON CASH	0.00	0.00	0.00	0.00	0.00
728-00-00-1100	TEXAS TERM	14,968.96	19.16	0.00	14,988.12	14,977.93
FUND 728 TOTAL		14,968.96	19.16	0.00	14,988.12	14,977.93

	BEGINNING BALANCE	TOTAL DEBITS	TOTAL CREDITS	ENDING BALANCE	AVERAGE DAILY BALANCE
POOLED CASH FUND					
991-00-00-1000 POOLED CASH ACCO	358,914.99	10,708,213.60	10,431,838.24CR	635,290.35	805,658.22
991-00-00-1100 TEX POOL	1,201,535.82	937.47	0.00	1,202,473.29	1,201,937.80
991-00-00-1105 TEXAS CLASS	7,033,642.17	110,526.94	1,500,000.00CR	5,644,169.11	5,949,512.73
991-00-00-1135 DREYFUS MM ACCT	267,040.24	3,405,062.65	1,301,261.96CR	2,370,840.93	518,854.23
991-00-00-1136 MULTI-BANK SECUR	758,187.34	803,843.70	1,532,579.12CR	29,451.92	117,470.53
991-00-00-1140 CERTIFICATE OF D	0.00	0.00	0.00	0.00	0.00
991-00-00-1141 CERTIFICATE OF D	10,370,000.00	850,975.08	2,878,000.00CR	8,342,975.08	10,143,145.36
991-00-00-1146 CERTIFICATES OF	2,098,741.33	763,679.68	778,612.56CR	2,083,808.45	2,460,283.12
991-00-00-1147 U.S. AGENCY	1,581,625.91	1,219,186.32	450,286.88CR	2,350,525.35	1,868,120.04
<hr/> FUND 991 TOTAL	<hr/> 23,669,687.80	<hr/> 17,862,425.44	<hr/> 18,872,578.76CR	<hr/> 22,659,534.48	<hr/> 23,064,982.03
 REPORT TOTALS	 29,779,860.03	 18,209,701.75	 20,436,781.75CR	 27,552,780.03	 28,718,543.96
	=====	=====	=====	=====	=====



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 6B

TITLE:

Receive presentation on the unaudited Monthly Financial Report for the period ending June 30, 2020.

STAFF REPRESENTATIVE:

Tracy Waldron, Chief Financial Officer

BACKGROUND/HISTORY:

The Chief Financial Officer provides the City Council a monthly financial report overview for all funds to include detailed analysis for General Fund, Water-Wastewater Fund, Bastrop Power & Light and the HOT Tax Fund.

REVENUE

General Fund is exceeding revenue forecast by 2.2%. This is attributed to the timing of property tax receipts and development fees being higher than forecasted.

The Electric fund is running slightly short of forecast due to lower rate adjustments for pass-through credits.

HOT funds revenue is short of forecast due to COVID-19 impacting the hospitality industry. The Hyatt Lost Pines closed from April to June.

The cemetery is still behind forecast but has seen an upward trend in last sales within the last several months.

The Park Land Dedication fund had an error in the revenue that needed to be adjusted regarding the amount of lease revenue that can be recognized of the payment from the County for Mayfest Park lease agreement.

EXPENDITURES

All funds are positive variance to forecasted expenditures year to date.

POLICY EXPLANATION:

This reporting requirement is set forth by the City of Bastrop Financial Management Policies, Chapter IV. Operating Budget, Section D. Reporting, as adopted by Resolution R-2019-90 on October 22, 2019.

ATTACHMENTS:

- Unaudited Monthly Financial Report for the period ending June 30, 2020

CITY OF BASTROP






Comprehensive Monthly Financial Report
June 2020



Performance at a Glance as of June 30, 2020



	YEAR TO DATE	REFERENCE
ALL FUNDS SUMMARY		
ALL FUNDS SUMMARY	POSITIVE	Page 4-5
GENERAL FUND REV VS EXP	POSITIVE	Page 6
SALES TAXES	POSITIVE	Page 7
PROPERTY TAXES	WARNING	Page 8
WATER/WASTEWATER FUND REV VS EXP	POSITIVE	Page 9
WATER/WASTEWATER REVENUES	POSITIVE	Page 10
ELECTRIC FUND REV VS EXP	POSITIVE	Page 11
ELECTRIC REVENUES	NEGATIVE	Page 12
HOT TAX FUND REV VS EXP	NEGATIVE	Page 13
HOTEL OCCUPANCY TAX REVENUES	NEGATIVE	Page 14
Legal fees	N/A	Page 15
PERFORMANCE INDICATORS		
POSITIVE	= Positive variance or negative variance < 1% compared to seasonal trends	
WARNING	= Negative variance of 1-5% compared to seasonal trends	
NEGATIVE	= Negative variance of > 5% compared to seasonal trends	

ECONOMIC INDICATORS	June 30, 2020— NEWS FOR YOU
ECONOMY	
<p><u>National:</u>  Real gross domestic product (GDP) percentage change of -5% since the 1st quarter of 2020. This is down from 2.1% from 4th quarter 2019. The personal income is -4.2% in May 2020. (All of these reported by the Bureau of Economic Analysis.)</p> <p><u>Texas Retail Sales Index:</u>  Down to -78.60 in Apr. 2020 from -60.0 in Mar. 2020.</p> <p><u>Texas Leading Index:</u>  This index is a single summary statistic that sheds light on the future of the state's economy. The index is a composition of eight leading indicators. The index is at 102.88 in May 2020, up from 100.79 Apr. 2020 and down from one year ago. This is a 2% increase in one month.</p>	<p>Attached is the Comprehensive Monthly Financial report for June 2020. This is 9 months of FY2020, or 75% of the fiscal year is complete.</p> <p><u>Revenues:</u> Overall, the City has earned \$35,588,672. This amount is 75% of the approved budget of \$47,438,367 and is 1.7% higher than the amount forecasted through the month of June.</p> <p><u>Expense:</u> Overall, the City has spent 7% less than forecasted.</p>
UNEMPLOYMENT	Noteworthy
<p><u>State-wide:</u>  The state unemployment is 13% in May 2020 which is up from 3.4 % one year ago.</p> <p><u>Bastrop:</u>  Bastrop County has an unemployment rate of 10.3% in May 2020 which is up from 2.5% one year ago.</p>	<p>Sales tax numbers are continuing to be higher than originally forecasted and we are projected to end FY2020 higher than budgeted.</p>

BUDGET SUMMARY OF ALL FUNDS

	<u>FY2020 Budget</u>	<u>FY2020 Forecast</u>	<u>FY2020 YTD</u>	<u>Variance</u>
<u>Revenues:</u>				
General	\$ 12,036,770	\$ 9,791,142	\$ 10,004,007	2.2%
Designated	59,710	41,458	52,754	27.2%
Innovation	77,000	13,780	29,682	115.4%
Street Maintenance	248,000	161,500	168,133	4.1%
Debt Service	2,787,826	2,524,278	2,524,833	0.0%
Water/Wastewater	6,214,823	4,399,568	4,438,269	0.9%
Water/Wastewater Debt	1,900,885	979,195	1,491,770	52.3%
Water/Wastewater Capital Proj	3,070,000	2,811,502	3,184,982	13.3%
Impact Fees	420,850	310,638	638,827	105.6%
Vehicle & Equipment Replacement	461,692	365,019	371,238	1.7%
Electric	7,126,562	4,768,341	4,525,445	-5.1%
HOT Tax Fund	3,708,456	2,634,316	1,884,809	-28.5%
Library Board	20,550	16,363	22,016	34.5%
Cemetery	106,250	70,638	57,306	-18.9%
Capital Bond Projects	3,349,644	2,863,483	2,937,952	2.6%
Grant Fund	2,863,125	265,000	264,099	-0.3%
Park/Trail Land Dedicaiton	1,000	750	(15,664)	-2188.5%
Hunter's Crossing PID	2,985,224	2,985,224	3,008,214	0.8%
TOTAL REVENUES	\$ 47,438,367	\$ 35,002,195	\$ 35,588,672	1.7%

POSITIVE

= Positive variance or negative variance < 1% compared to forecast

WARNING

= Negative variance of 1-5% compared to forecast

NEGATIVE

= Negative variance of >5% compared to forecast

BUDGET SUMMARY OF ALL FUNDS

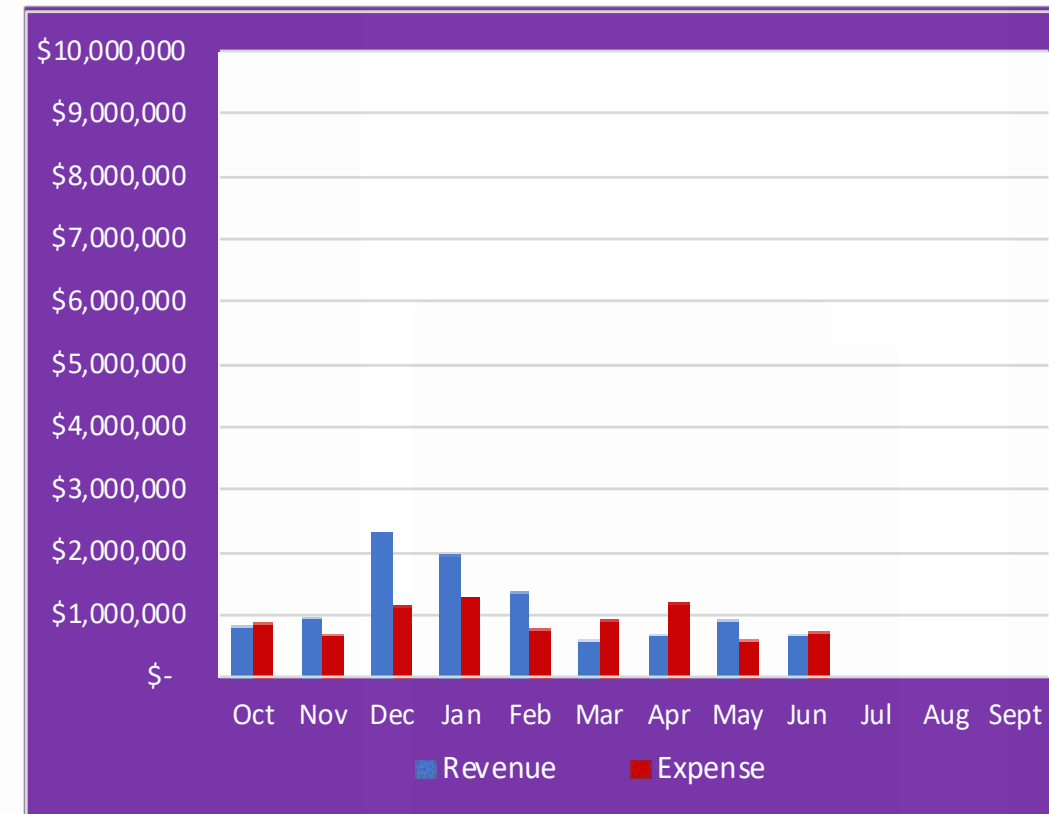
	<u>FY2020 Budget</u>	<u>FY2020 Forecast</u>	<u>FY2020 YTD</u>	<u>Variance</u>
<u>Expense:</u>				
General	\$ 12,036,769	\$ 8,596,304	\$ 7,964,039	-7.4%
Designated	471,950	115,323	5,799	-95.0%
Innovation	918,068	634,400	443,898	-30.0%
Street Maintenance	1,285,345	840,699	700,927	-16.6%
Debt Service	2,790,559	662,261	661,124	-0.2%
Water/Wastewater	6,182,902	4,412,799	4,053,586	-8.1%
Water/Wastewater Debt	3,870,887	2,408,492	2,408,493	0.0%
Water/Wastewater Capital Proj.	4,614,323	2,506,182	2,504,044	-0.1%
Impact Fees	732,691	148,150	120,605	-18.6%
Vehicle & Equipment Replacement	356,500	271,611	218,392	-19.6%
Electric	7,714,148	5,230,725	4,483,866	-14.3%
HOT Tax Fund	4,215,966	3,228,764	2,976,567	-7.8%
Library Board	23,453	17,590	1,912	-89.1%
Park Dedication	100,000	-	-	0.0%
Cemetery	118,429	92,797	85,866	-7.5%
Hunter's Crossing PID	3,395,969	3,368,432	3,373,813	0.2%
Capital Projects (Bond)	8,859,185	4,741,447	4,739,715	0.0%
Grant Fund	2,863,125	456,006	454,575	-0.3%
TOTAL EXPENSES	\$ 60,550,269	\$ 37,731,982	\$ 35,197,221	-6.7%
Surplus/(Shortfall)	\$ (13,111,902)	\$ (2,729,787)	\$ 391,451	-114.3%

POSITIVE	= Negative variance or positive variance < 1% compared to forecast
WARNING	= Positive variance of 1-5% compared to forecast
NEGATIVE	= Positive variance of >5% compared to forecast

OVERALL FUND PERFORMANCE

GENERAL FUND REVENUES VS EXPENSES

Month	FY2020 Revenue	FY2020 Expense	Monthly Variance
Oct	\$ 793,594	\$ 824,583	\$ (30,989)
Nov	927,420	679,143	\$ 248,277
Dec	2,283,803	1,114,692	\$ 1,169,111
Jan	1,909,225	1,238,537	\$ 670,688
Feb	1,341,319	744,351	\$ 596,968
Mar	571,335	897,254	\$ (325,919)
Apr	636,183	1,146,370	\$ (510,187)
May	896,526	560,088	\$ 336,438
Jun	644,665	712,192	\$ (67,527)
Jul			\$ -
Aug			\$ -
Sept			\$ -
Total	\$ 10,004,070	\$ 7,917,210	\$ 2,086,860
Cumulative Forecast	\$ 9,791,142	\$ 8,596,304	\$ 1,194,838
Actual to Forecast \$	\$ 212,928	\$ 679,094	\$ 892,022
Actual to Forecast %	2.17%	7.90%	10.07%



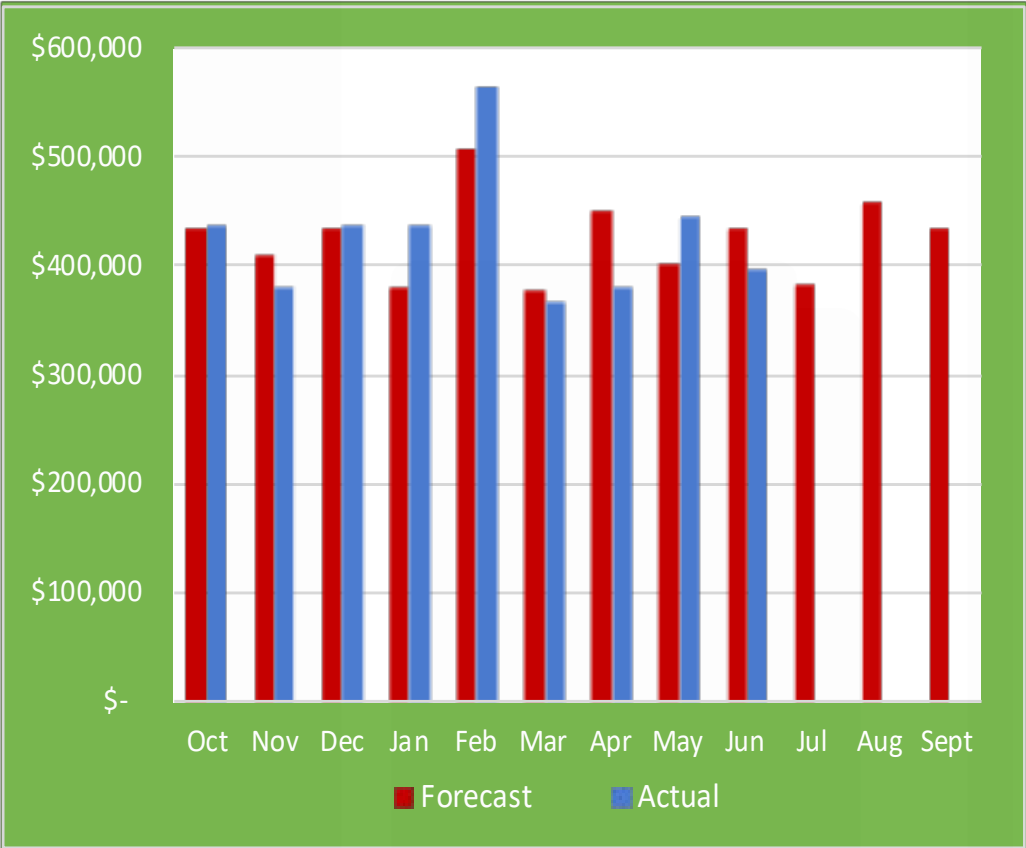
POSITIVE

Cumulatively overall, the General Fund is positive of forecasted by almost 10%. There is salary savings that is attributing to the positive expense variance. Also, departments were asked to only purchase those items that are essential and hold off on any special project expenses.

REVENUE ANALYSIS

SALES TAX REVENUE

Month	FY2020 Forecast	FY2020 Actual	Monthly Variance
Oct	\$ 432,174	\$ 434,511	\$ 2,337
Nov	406,752	378,114	\$ (28,638)
Dec	432,174	434,387	\$ 2,213
Jan	379,029	434,307	\$ 55,278
Feb	505,312	562,560	\$ 57,248
Mar	376,892	364,760	\$ (12,132)
Apr	448,102	379,155	\$ (68,947)
May	400,691	443,237	\$ 42,546
Jun	432,174	394,160	\$ (38,014)
Jul	381,330		\$ -
Aug	457,596		\$ -
Sept	432,174		\$ -
Total	\$ 5,084,400	\$ 3,825,191	\$ 11,891
Cumulative Forecast	\$ 3,813,300		
Actual to Forecast	\$ 11,891	0.3%	

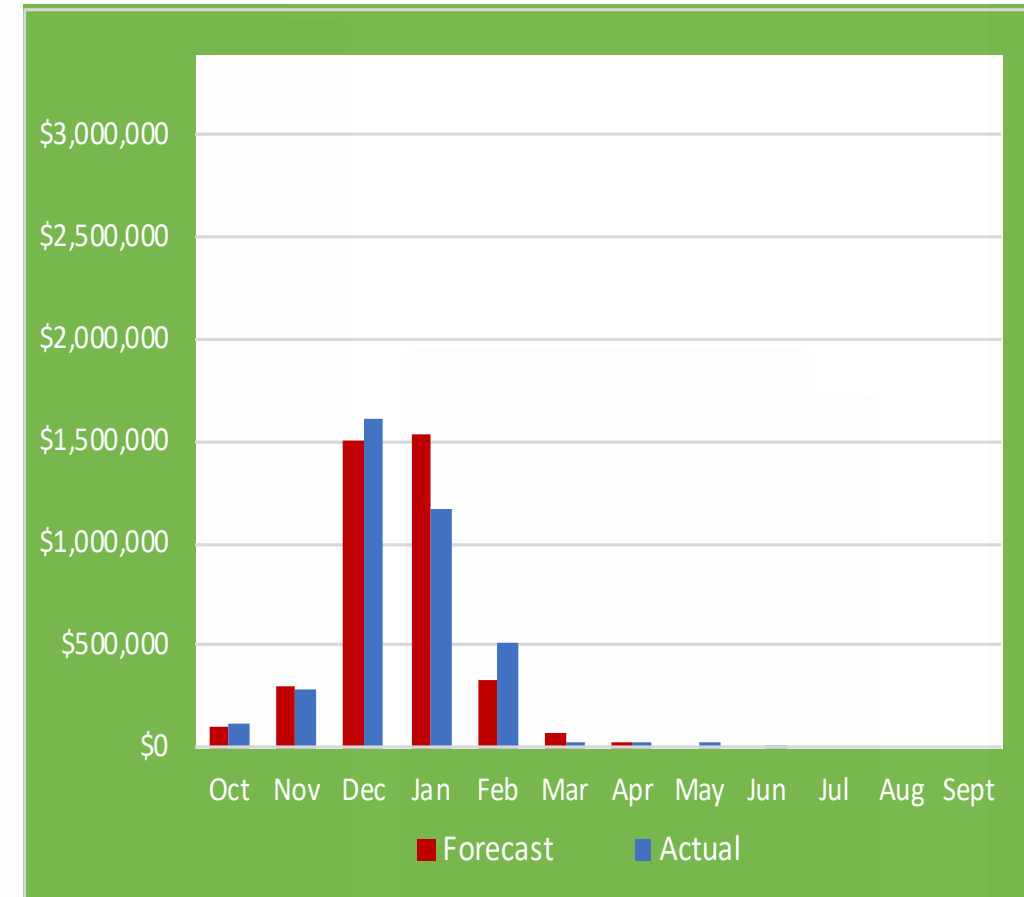


POSITIVE

Sales Tax is 42% of the total budgeted revenue for General Fund. The actual amounts for Oct. and Nov. are estimated due to the State Comptroller's two month lag in payment of these earned taxes. The actual is almost breakeven with forecasted. Based on the March tax allocation I have left the original forecasted amounts and will monitor the differences each month to determine if an adjustment is necessary.

PROPERTY TAX REVENUE

<u>Month</u>	<u>FY2020 Forecast</u>	<u>FY2020 Actual</u>	<u>Monthly Variance</u>
Oct	\$ 96,182	\$ 110,455	\$ 14,273
Nov	292,365	288,604	\$ (3,761)
Dec	1,500,445	1,610,759	\$ 110,314
Jan	1,538,918	1,175,352	\$ (363,566)
Feb	323,202	516,287	\$ 193,085
Mar	76,946	29,067	\$ (47,879)
Apr	19,236	20,390	\$ 1,154
May	-	17,700	\$ 17,700
Jun	-	14,276	\$ 14,276
Jul	-		
Aug	-		
Sept	-		
Total	\$ 3,847,294	\$ 3,782,890	\$ (64,404)
Cumulative Forecast	\$ 3,847,294		
Actual to Forecast	\$ (64,404)	-1.67%	



WARNING

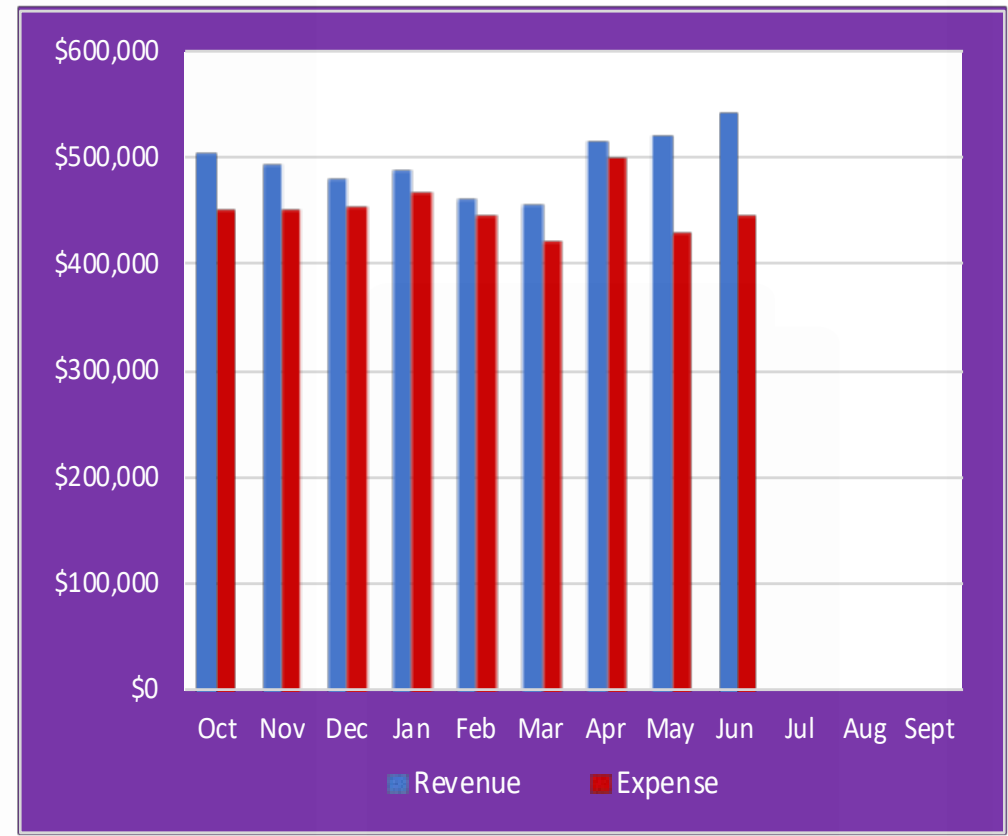
Property tax represents 31% of the total General Fund revenue budget. The actual is short the forecast by less than 2%. We have consistently had a 99% collection rate. The City received a supplemental report for Tax Year 2019 in April and it reflected a large decrease in the taxable valuation amount from the certified amounts received in July of 2019. **Due to this decrease it is not likely that we will collect the total amount budgeted.**

COMPREHENSIVE MONTHLY FINANCIAL REPORT – June 2020

OVERALL FUND PERFORMANCE

WATER/WASTEWATER FUND REVENUES VS EXPENSES

<u>Month</u>	<u>FY2020 Revenue</u>	<u>FY2020 Expense</u>	<u>Monthly Variance</u>
Oct	\$ 501,916	\$ 447,250	\$ 54,666
Nov	490,855	449,305	\$ 41,550
Dec	478,735	452,449	\$ 26,286
Jan	485,721	463,689	\$ 22,032
Feb	458,214	442,619	\$ 15,595
Mar	452,776	418,358	\$ 34,418
Apr	511,706	496,165	\$ 15,541
May	518,149	427,095	\$ 91,054
Jun	540,167	442,920	\$ 97,247
Jul			\$ -
Aug			\$ -
Sept			\$ -
Total	\$ 4,438,239	\$ 4,039,850	\$ 398,389
Cumulative Forecast	\$ 4,399,568	\$ 4,412,799	\$ (13,231)
Actual to Forecast \$	\$ 38,671	\$ 372,949	\$ 411,620
Actual to Forecast %	0.88%	8.45%	9.33%



POSITIVE

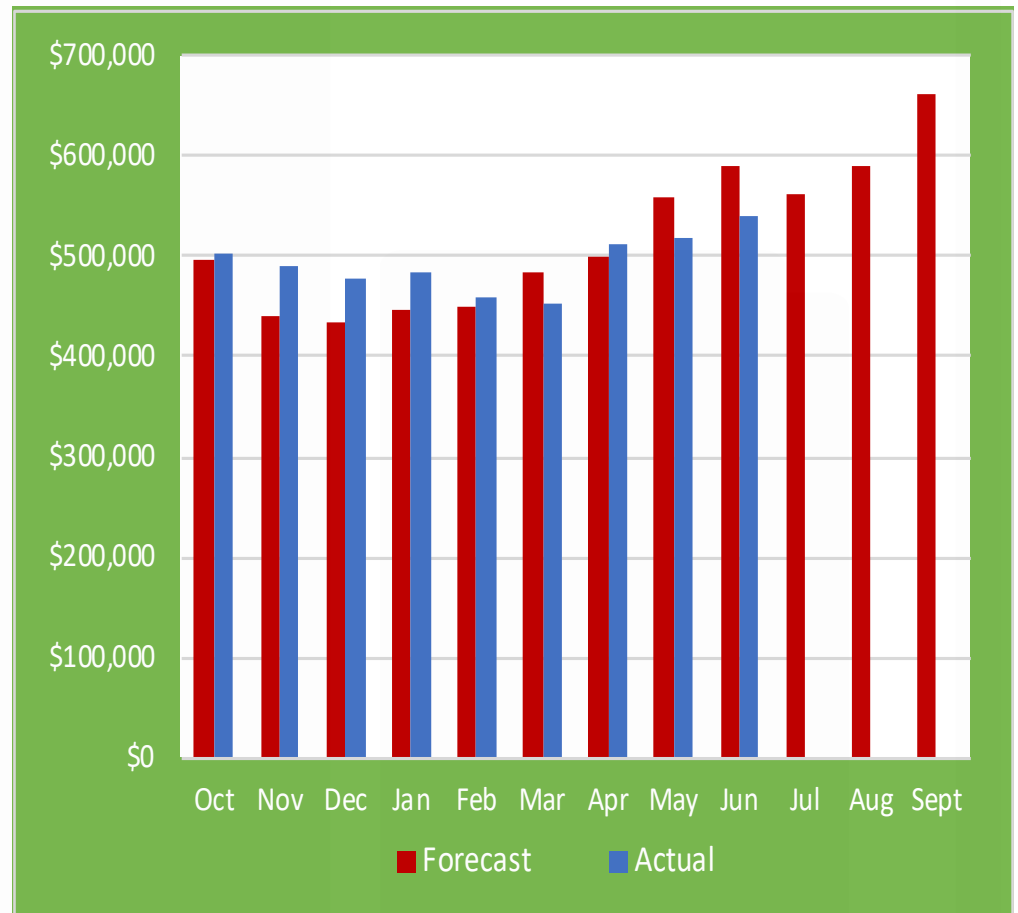
Water and wastewater fund is 9% net positive. There are several vacant positions in this fund and revenue is coming in higher than forecasted.

COMPREHENSIVE MONTHLY FINANCIAL REPORT – June 2020

REVENUE ANALYSIS

WATER/WASTEWATER REVENUE

<u>Month</u>	<u>FY2020 Forecast</u>	<u>FY2020 Actual</u>	<u>Monthly Variance</u>
Oct	\$ 497,087	\$ 501,916	\$ 4,829
Nov	439,890	490,855	\$ 50,965
Dec	433,509	478,735	\$ 45,226
Jan	447,943	485,721	\$ 37,778
Feb	449,890	458,214	\$ 8,324
Mar	482,653	452,776	\$ (29,877)
Apr	500,346	511,706	\$ 11,360
May	558,717	518,149	\$ (40,568)
Jun	589,533	540,167	\$ (49,366)
Jul	560,665		
Aug	591,480		
Sept	663,111		
Total	\$ 6,214,824	\$ 4,438,239	\$ 38,671
Cumulative Forecast	\$ 4,399,568		
Actual to Forecast	\$ 38,671	0.88%	



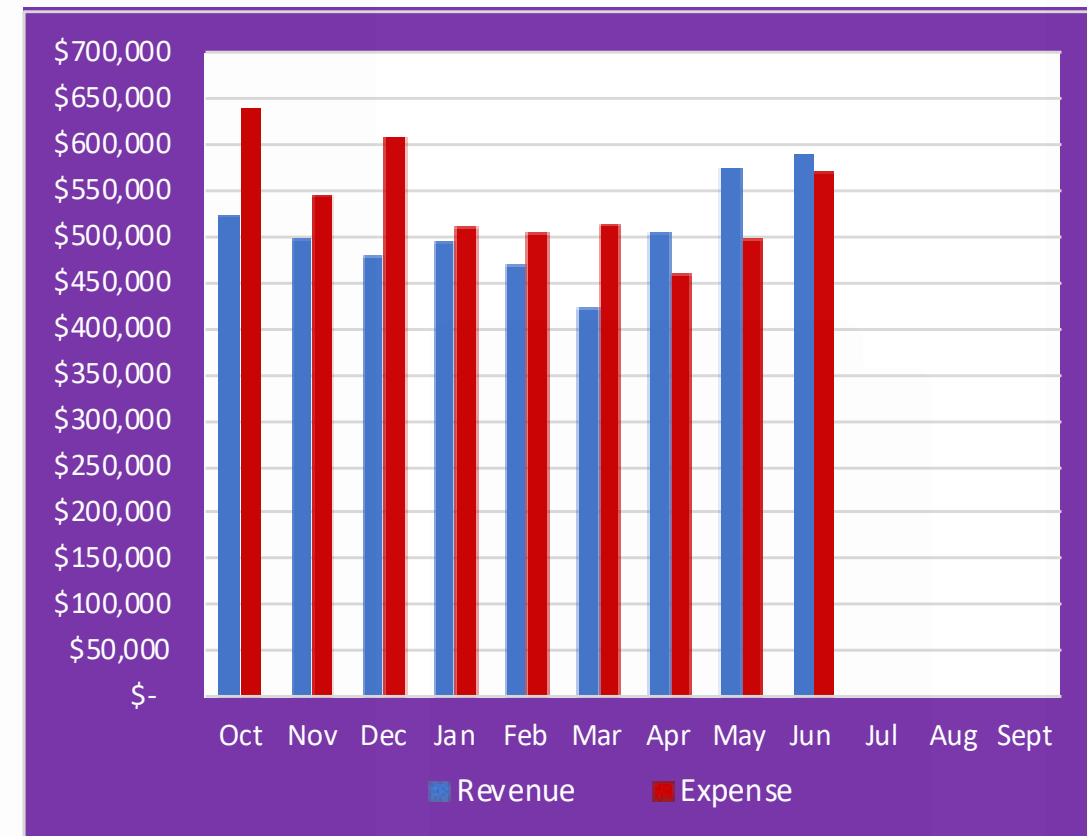
POSITIVE

The water and wastewater actual revenue is higher than forecast by less than 1%. There were 23 new meters set this month all residential.

OVERALL FUND PERFORMANCE

ELECTRIC FUND REVENUES VS EXPENSES

<u>Month</u>	FY2020 <u>Revenue</u>	FY2020 <u>Expense</u>	Monthly <u>Variance</u>
Oct	\$ 520,687	\$ 637,713	\$ (117,026)
Nov	493,894	541,649	\$ (47,755)
Dec	475,356	604,251	\$ (128,895)
Jan	493,218	507,590	\$ (14,372)
Feb	467,516	501,834	\$ (34,318)
Mar	419,164	510,512	\$ (91,348)
Apr	501,106	458,575	\$ 42,531
May	569,284	496,419	\$ 72,865
Jun	585,177	567,691	\$ 17,486
Jul			\$ -
Aug			\$ -
Sept			\$ -
Total	\$ 4,525,402	\$ 4,826,234	\$ (300,832)
Cumulative Forecast	\$ 4,768,341	\$ 5,230,725	\$ (462,384)
Actual to Forecast \$	\$ (242,939)	\$ 404,491	\$ 161,552
Actual to Forecast %	-5.09%	7.73%	2.64%



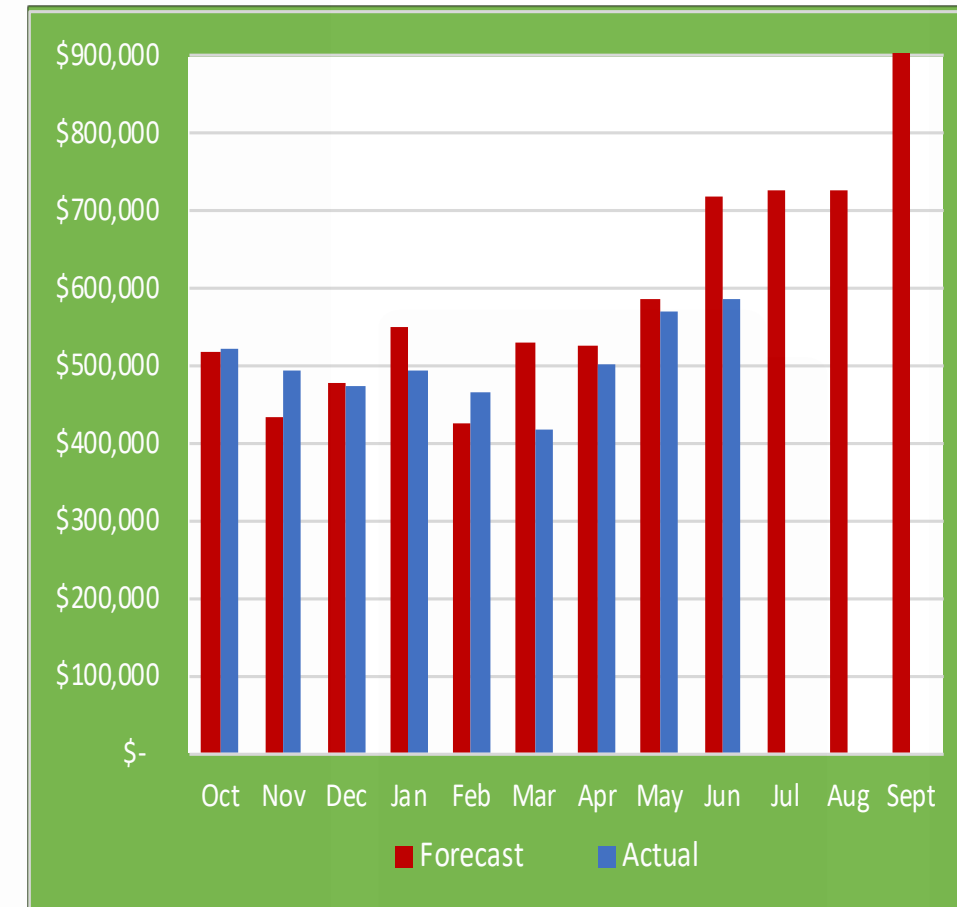
POSITIVE

The Electric utility fund is over 2.5% net positive actual to forecast. The expense is higher in October due to budgeted annual transfers that were processed during this month. This budget was approved with expenditures exceeding revenues to utilize available fund balance for capital projects and special projects. Most of these projects have been put on hold due to COVID-19.

REVENUE ANALYSIS

ELECTRIC FUND REVENUE

Month	FY2020 Forecast	FY2020 Actual	Monthly Variance
Oct	\$ 517,966	\$ 520,687	\$ 2,721
Nov	435,450	493,894	\$ 58,444
Dec	477,708	475,356	\$ (2,352)
Jan	551,515	493,218	\$ (58,297)
Feb	425,321	467,516	\$ 42,195
Mar	531,386	419,164	\$ (112,222)
Apr	524,676	501,106	\$ (23,570)
May	585,063	569,284	\$ (15,779)
Jun	719,257	585,177	\$ (134,080)
Jul	725,966		
Aug	725,966		
Sept	906,288		
Total	\$ 7,126,562	\$ 4,525,402	\$ (242,940)
Cumulative Forecast	\$ 4,768,342		
Actual to Forecast	\$ (242,940)	-5.09%	



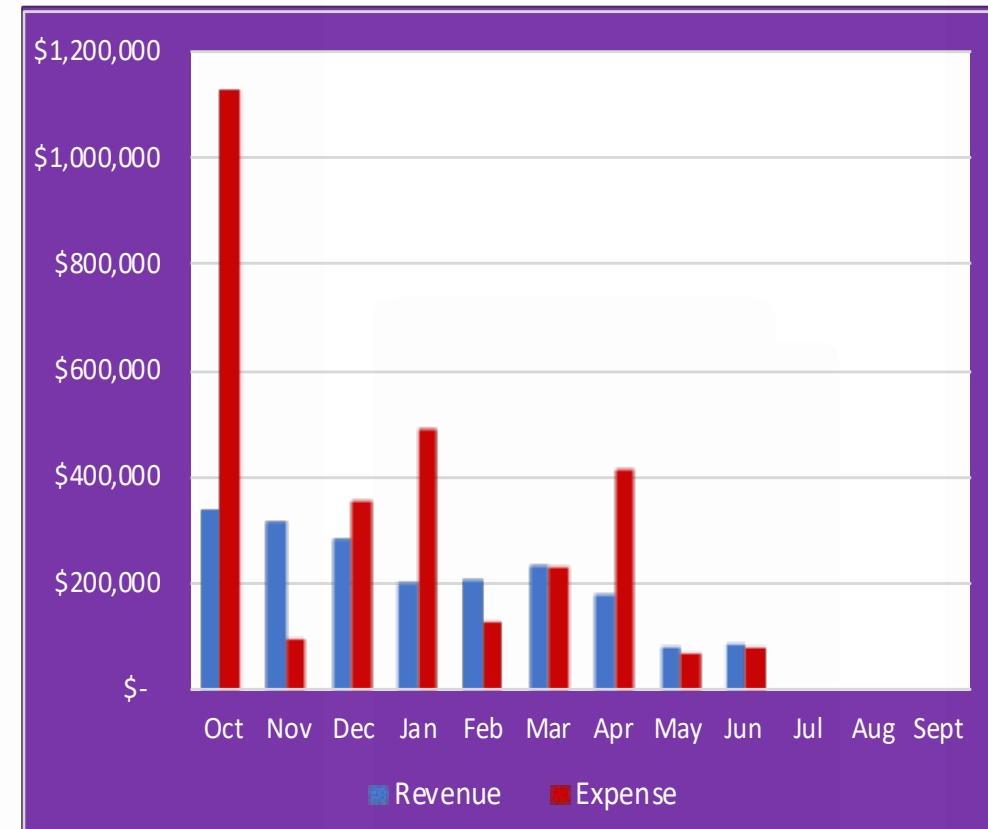
NEGATIVE

The Electric utility revenue is short of forecast by over 5%. There was 1 new residential meter sets this month. There are several factors for this shortfall. LCRA applied a credit to the power bill that is now being passed through to the customers, creating a lower billed amount than previously forecasted. Also, extension fee revenue is well below forecasted amount.

OVERALL FUND PERFORMANCE

HOT TAX FUND REVENUES VS EXPENSES

Month	FY2020 Revenue	FY2020 Expense	Monthly Variance
Oct	\$ 332,664	\$ 1,120,211	\$ (787,548)
Nov	310,199	92,618	\$ 217,581
Dec	276,054	354,093	\$ (78,039)
Jan	199,844	489,461	\$ (289,617)
Feb	203,616	125,811	\$ 77,805
Mar	228,663	230,499	\$ (1,836)
Apr	174,091	412,556	\$ (238,465)
May	76,187	70,283	\$ 5,904
Jun	83,458	80,999	\$ 2,459
Jul			
Aug			
Sept			
Total	\$ 1,884,776	\$ 2,976,531	\$ (1,091,756)
Cumulative Forecast	\$ 2,634,316	\$ 3,228,764	\$ (594,448)
Actual to Forecast \$	\$ (749,541)	\$ 252,233	\$ (497,308)
Actual to Forecast %	-28.45%	7.81%	-20.64%



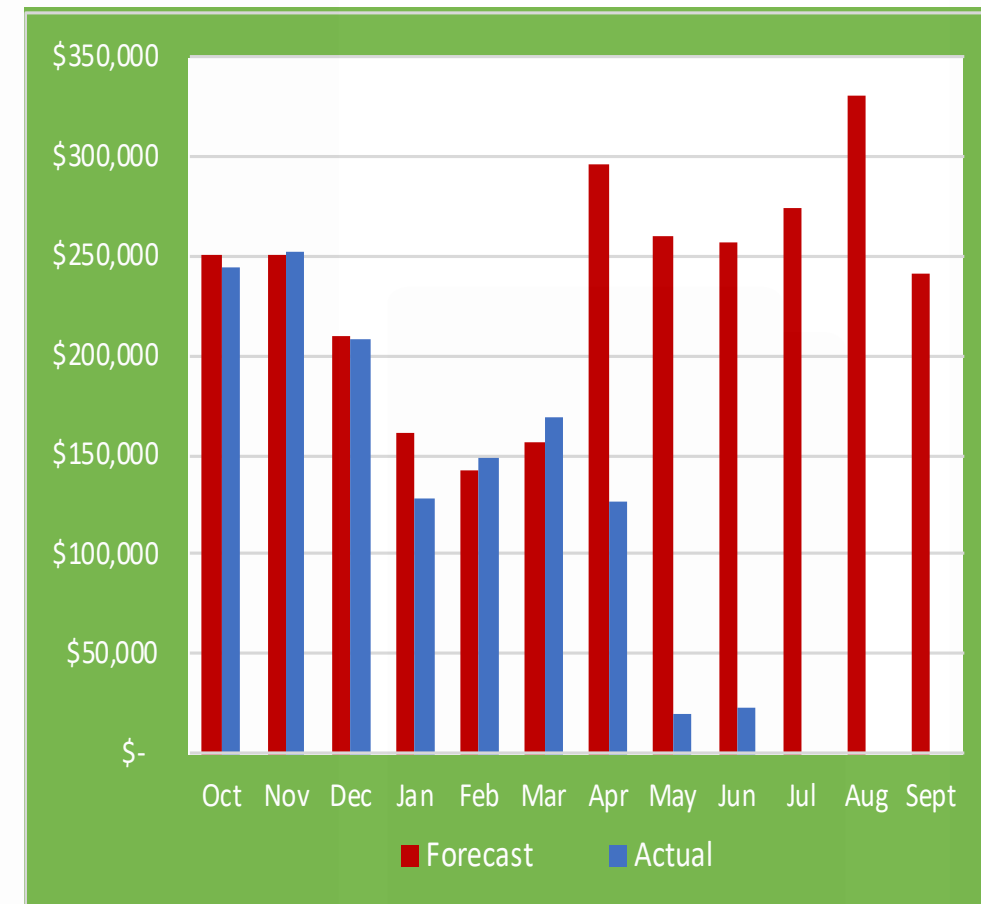
NEGATIVE

The HOT Tax fund is over 20% net negative to forecasted. This shortage should level off over the next several months as expenses stay down and revenue increases. The 4th quarter payment to Visit Bastrop will not be paid in July.

REVENUE ANALYSIS

HOTEL OCCUPANCY TAX REVENUE

Month	FY2020 Forecast	FY2020 Actual	Monthly Variance
Oct	\$ 250,522	\$ 245,000	\$ (5,522)
Nov	250,672	251,784	\$ 1,112
Dec	209,500	207,571	\$ (1,929)
Jan	161,857	128,943	\$ (32,914)
Feb	142,211	148,161	\$ 5,950
Mar	155,935	168,239	\$ 12,304
Apr	296,690	126,123	\$ (170,567)
May	260,463	19,933	\$ (240,530)
Jun	256,424	23,214	\$ (233,210)
Jul	274,446		
Aug	330,326		
Sept	241,454		
Total	\$ 2,830,500	\$ 1,318,968	\$ (665,306)
Cumulative Forecast	\$ 1,984,274		
Actual to Forecast %	\$ (665,306)	-33.5%	



NEGATIVE

So far YTD we are over 33% negative actual to forecast. **The Hotel Tax revenue YTD is \$655,019 less than same time last year.** This shortage can be attributed to the Hyatt Lost Pines closure and lower than normal occupancy due to COVID-19.

Legal fees by Attorney/Category

COMPREHENSIVE MONTHLY FINANCIAL REPORT – June 2020

FIRM	CASE	FY17-18	FY18-19	FY19-20
BUNDREN				
	Pine Forest Interlocal	\$ 26,612	\$ 6,195	\$ 1,298
TERRELL LAW FIRM				
	Water permit	\$ 135	\$ -	\$ -
BOJORQUEZ LAW FIRM				
	General legal	\$ 245,168	\$ 432,931	\$ 134,645
	COVID-19	\$ -	\$ -	\$ 8,022
	Vandiver	\$ 5,079	\$ 1,857	\$ -
	Pine Forest Interlocal	\$ 10,116	\$ -	\$ 1,275
	Prosecutor	\$ 19,633	\$ 23,358	\$ 11,084
	Water/Wastewater	\$ 18,425	\$ 46,721	\$ 20,006
MULTIPLE FIRMS				
	Hunters Crossing PID	\$ -	\$ -	\$ 7,378
	XS Ranch Bankruptcy	\$ 11,770	\$ -	\$ -
RUSSEL RODRIGUEZ HYDE				
	XS Ranch Water Right	\$ 27,965	\$ 6,204	\$ 3,355
	Hunters Crossing PID	\$ 83,524	\$ 89,899	\$ 8,344
	Water/Wastewater	\$ 910	\$ -	\$ -
TAYLOR, OLSON, ADKINS, SRALLA & ELAM, LLP				
	Red Light Camera Sui	\$ 2,124	\$ 717	\$ 64
	Total Legal	\$ 451,460	\$ 607,881	\$ 195,470

Summary by Case/Type

Row Labels	Sum of FY17-18	Sum of FY18-19	Sum of FY19-20
General legal	\$ 245,168	\$ 432,931	\$ 134,645
Hunters Crossing PID	\$ 83,524	\$ 89,899	\$ 15,722
Pine Forest Interlocal	\$ 36,728	\$ 6,195	\$ 2,573
Prosecutor	\$ 19,633	\$ 23,358	\$ 11,084
Red Light Camera Suit	\$ 2,124	\$ 717	\$ 64
Vandiver	\$ 5,079	\$ 1,857	\$ -
Water permit	\$ 135	\$ -	\$ -
Water/Wastewater	\$ 19,335	\$ 46,721	\$ 20,006
XS Ranch Bankruptcy	\$ 11,770	\$ -	\$ -
XS Ranch Water Rights	\$ 27,965	\$ 6,204	\$ 3,355
COVID-19	\$ -	\$ -	\$ 8,022
Grand Total	\$ 451,460	\$ 607,881	\$ 195,470



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 7

TITLE:

CITIZEN COMMENTS

At this time, three (3) minute comments will be taken from the audience on any topic. Anyone wishing to address the Council, must complete a citizen comment form with comments at www.cityofbastrop.org/citizencommentform before 5:00 p.m. on July 28, 2020. Submitted comments will be read aloud at the meeting. Comments from each individual will be limited to three (3) minutes when read aloud. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, City Council cannot discuss issues raised or make any decision at this time. Instead, City Council is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to City Staff for research and possible future action.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Council to allow a member of the public to slur the performance, honesty and/or integrity of the Council, as a body, or any member or members of the Council individually or collectively, or members of the City's staff. Accordingly, profane, insulting or threatening language directed toward the Council and/or any person in the Council's presence will not be tolerated.



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 8A

TITLE:

Consider action to approve City Council minutes from the July 14, 2020 Regular meeting.

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager
Ann Franklin, City Secretary

BACKGROUND/HISTORY:

N/A

POLICY EXPLANATION:

Section 551.021 of the Government Code provides as follows:

- (a) A governmental body shall prepare and keep minutes or make a tape recording of each open meeting of the body.
- (b) The minutes must:
 1. State the subject of each deliberation; and
 2. Indicate the vote, order, decision, or other action taken.

FUNDING SOURCE:

N/A

RECOMMENDATION:

Consider action to approve City Council minutes from the July 14, 2020 Regular meeting.

ATTACHMENTS:

- July 14, 2020, DRAFT Regular Meeting Minutes.

July 14, 2020

The Bastrop City Council met in a Regular Meeting on Tuesday, June 23, 2020, at 6:30 p.m. at the Bastrop City Hall Council Chambers, located at 1311 Chestnut Street, Bastrop, Texas. Members physically present were: Mayor Schroeder, Mayor Pro Tem Nelson and Council Members Ennis, Peterson and Rogers. Council Member Jackson was present via video. Officers physically present were Interim City Manager, Trey Job; City Secretary, Ann Franklin; and City Attorney, Alan Bojorquez.

CALL TO ORDER - EXECUTIVE SESSION**EXECUTIVE SESSION**

The City Council met at 5:02 p.m. in a closed/executive session pursuant to the Texas Government Code, Chapter 551, et seq, to discuss the following:

- 2A. City Council shall convene into closed executive session pursuant to Texas Government Code Sections 551.071 and 551.072, to seek the advice of legal counsel, and to deliberate upon the acquisition of real property interests associated with the construction of Wastewater Treatment Plant #3 at 385 SH 304, Unit B, Bastrop, TX 78602, and its collections systems, including all related agreements, authorizations, easements, resolutions, and associated legal actions.
- 2B. City Council shall convene into closed executive session pursuant to Texas Government Code Sections 551.071 and 551.072, to seek the advice of legal counsel, and to deliberate upon the Main Street Rehabilitation Project, including real property and easements, in regards to 702 and 704 Main Street (Khonsari), and pending legal proceedings for 1113 Main Street (McDonald).

The Bastrop City Council reconvened at 6:18 p.m. into open (public) session.

TAKE ANY NECESSARY OR APPROPRIATE ACTION ON MATTERS POSTED FOR CONSIDERATION IN CLOSED/EXECUTIVE SESSION

- 2A. City Council shall convene into closed executive session pursuant to Texas Government Code Sections 551.071 and 551.072, to seek the advice of legal counsel, and to deliberate upon the acquisition of real property interests associated with the construction of Wastewater Treatment Plant #3 at 385 SH 304, Unit B, Bastrop, TX 78602, and its collections systems, including all related agreements, authorizations, easements, resolutions, and associated legal actions.

A motion was made by Council Member Ennis to approve Resolution No. R-2020-64 and Resolution R-2020-65 authorizing the City Manager to sign a possession and use agreement and right of entry with William A. Griesenbeck and William J. Griesenbeck in real property for Wastewater Treatment Plant #3, seconded by Council Member Rogers, motion was approved on a 5-0 vote.

A motion was made by Mayor Pro Tem Nelson to approve Resolution No. R-2020-66 authorizing the Mayor to sign a purchase agreement with TF Hunters Crossing LP tract 3West, for real property for Wastewater Treatment Plant #3, seconded by Council Member Rogers, motion was approved on a 3-0-2 vote. Mayor Pro Tem Nelson and Council Member Rogers abstained.

A motion was made by Mayor Pro Tem Nelson to approve Resolution No. R-2020-67 authorizing the Mayor to sign a purchase agreement with Helen Simons tract 2aWest, for real property for Wastewater Treatment Plant #3, seconded by Council Member Peterson, motion was approved on a 3-0-2 vote. Mayor Pro Tem Nelson and Council Member Rogers abstained.

Mayor Schroeder recessed the meeting at 6:23 p.m.

CALL TO ORDER

At 6:30 p.m. Mayor Schroeder called the meeting to order with a quorum being present.

PLEDGE OF ALLEGIANCE

INVOCATION

Council Member Peterson, gave the invocation.

PRESENTATIONS

- 7A. Mayor's Report
- 7B. Councilmembers' Report
- 7C. City Manager's Report

WORK SESSION/BRIEFINGS

- 8A. Discussion on extending the platting exceptions into the statutory extraterritorial jurisdiction.
Presentation was made by the Interim City Manager, Trey Job.

STAFF AND BOARD REPORTS

- 9A. Presentation from Organizations applying for FY2021 Community Support Funding.
Presentation was made by Chief Financial Officer, Tracy Waldron.

SPEAKERS VIA REMOTE

**William (Billy) Whipple
Austin Habitat for Humanity**

**Tresha Silva
Bastrop County Emergency Food Pantry**

Sherry Murphy
Bastrop County Women's Shelter dba Family Crisis Center

Stephanie Tullos
Bastrop Pregnancy Resource Center

Megan Webb
Children's Advocacy Center

Kelly Franke
Combined Community Action

Bill Burke
Community Action

Kristi Glasper
CASA

James Green
Bastrop County First Responders

CITIZEN COMMENTS (Statements were read into record by Mayor Connie Schroeder)

Richard M Hutchins
105 Frontier Trail
Bastrop, Texas 78602
512-629-6590

A motion was made by Mayor Pro Tem Nelson to approve Item 11A as listed on the Consent Agenda after being read into the record by Mayor, Connie Schroeder. Seconded by Council Member Ennis, motion was approved on a 5-0 vote.

- 11A. Consider action to approve City Council minutes from the June 23, 2020 Regular meeting.

ITEMS FOR INDIVIDUAL CONSIDERATION

- 12A. Consider and adopt on first and final reading Ordinance No. 2020-18 as an emergency measure ratifying temporary Emergency Orders enacted by the Mayor in her capacity as Emergency Management Director in regards to the current Local State of Disaster, for the immediate preservation of the public peace, health or safety. **Mayor Schroeder ratified Emergency Order Number 7 and the Phased Reopening Plan Amendment #2 for phase 3.**

A motion was made by Council Member Jackson to approve Ordinance No. 2020-18 closing the Conventional Center for the foreseeable future, changes Phase 3 to "To Be Determined" and ratifies Emergency Order Number 7, seconded by Council Member Ennis, motion was approved on a 5-0 vote.

- 12B. Public hearing and consider action to approve the first reading of Ordinance No. 2020-19 of the City Council of the City of Bastrop, Texas, amending the development standards for the Bastrop Grove Residential Planned Development District with a residential base use for 67.111 acres out of the Nancy Blakey Survey, Abstract 98, Located south of Agnes Street and east of State Highway 304, within the city limits of Bastrop, Texas; as shown in Exhibits A & B; including a severability clause; establishing an effective date; and move to include on the July 28, 2020, City Council Consent agenda for a second reading.
Presentation was made by Planning Department Assistant Director, Jennifer Bills.

Public hearing was opened.

Public hearing was closed.

A motion was made by Council Member Rogers to approve the first reading of Ordinance No. 2020-19, seconded by Mayor Pro Tem Nelson, motion was approved on a 5-0 vote.

- 12C. Consider action to approve Resolution No. R-2020-59 of the City Council of the City of Bastrop, Texas allowing the use of internal illumination on a pylon sign, for Lakeside Phase 1 & 2, Lot 1, also known as the St. David's Hospital, located at 3201 E State Highway 71, as shown in Exhibit A, establishing a repealing clause; and establishing an effective date.
Presentation was made by Planning Department Assistant Director, Jennifer Bills.

SPEAKER (Statement was read into record by Mayor Connie Schroeder)

**Michael Whellan
100 Congress Avenue
Suite 1300
512-435-2320**

A motion was made by Council Member Rogers to approve Resolution No. R-2020-59, seconded by Council Member Ennis, motion was approved on a 5-0 vote.

- 12D. Consider action to approve Resolution No. R-2020-60 of the City Council of the City of Bastrop, Texas, releasing the budget restrictions discussed at a City Council update on April 14, 2020; repealing all resolutions in conflict; and providing an effective date.
Presentation was made by Interim City Manager, Trey Job.

A motion was made by Council Member Ennis to approve Resolution No. R-2020-60, seconded by Council Member Peterson, motion was approved on a 5-0 vote.

- 12E. Consider action to approve the first reading of Ordinance No. 2020-20 of the City Council of the City of Bastrop, Texas, amending the budget for the Fiscal Year 2020 in accordance with existing statutory requirements; appropriating the various

amounts herein as attached in Exhibit A; repealing all prior ordinances and actions in conflict herewith; and establishing an effective date; and move to include on the July 28, 2020, City Council Consent agenda for a second reading.

Presentation was made by Chief Financial Officer, Tracy Waldron.

A motion was made by Mayor Pro Tem Nelson to approve the first reading of Ordinance No. 2020-20, seconded by Council Member Peterson, motion was approved on a 5-0 vote.

- 12F. Hold a public hearing to review the program performance of the activities completed under the Texas Community Development Block Grant (TxCDBG) Program grant from the Texas Department of Agriculture for a Sewer Improvements Project, which will include an explanation of the actual use of the TxCDBG funds and invite comments.

Presentation was made by Interim City Manager, Trey Job.

Public hearing was opened.

Public hearing was closed.

- 12G. Consider action to approve Resolution No. R-2020-61 of the City Council of the City of Bastrop, Texas confirming a board appointment of the Mayor, as required in Section 3.08 of the City's Charter, and establishing an effective date.

A motion was made by Council Member Jackson to approve Resolution No. R-2020-61, seconded by Council Member Mayor Pro Tem Nelson, motion was approved on a 5-0 vote.

- 12H. Consider action to approve Resolution No. R-2020-62 of the City Council of the City of Bastrop, Texas reducing mowing and other related liens filed by the City of Bastrop against 1811 Main Street to Ten-Thousand and 00/100 Dollars (\$10,000.00) authorizing the City Manager to execute all necessary documents; providing for a severability clause; and establishing an effective date.

Presentation was made by Interim City Manager, Trey Job.

A motion was made by Mayor Pro Tem Nelson to approve Resolution No. R-2020-62, seconded by Council Member Peterson, motion was approved on a 5-0 vote.

An amended motion was made by Mayor Pro Tem Nelson to amend the motion previously adopted to now read approve Resolution No. R-2020-62, and require lien agreement in the amount of \$10,000 be paid no later than July 17, 2020 and if not this item will be placed on the July 28, 2020 Council agenda for Council to revisit the amount, seconded by Council Member Peterson, motion was approved on a 5-0 vote.

- 12I. Consider action to approve Resolution No. R-2020-63 of the City Council of the City of Bastrop, Texas approving a list of qualified consulting firms to provide engineering services for CDBG MIT FUNDING through the GLO; authorizing the City Manager to execute all necessary documents; providing for a repealing clause; and establishing an effective date.

Presentation was made by Interim City Manager, Trey Job.

A motion was made by Mayor Pro Tem Nelson to approve Resolution No. R-2020-63, seconded by Council Member Peterson, motion was approved on a 5-0 vote.

EXECUTIVE SESSION CONTINUED

Council Member Ennis recused himself.

The City Council met at 8:24 p.m. in a closed/executive session pursuant to the Texas Government Code, Chapter 551, et seq, to discuss the following:

- 2B. City Council shall convene into closed executive session pursuant to Texas Government Code Sections 551.071 and 551.072, to seek the advice of legal counsel, and to deliberate upon the Main Street Rehabilitation Project, including real property and easements, in regards to 702 and 704 Main Street (Khonsari), and pending legal proceedings for 1113 Main Street (McDonald).

The Bastrop City Council reconvened at 9:03 p.m. into open (public) session.

TAKE ANY NECESSARY OR APPROPRIATE ACTION ON MATTERS POSTED FOR CONSIDERATION IN CLOSED/EXECUTIVE SESSION

- 2B. City Council shall convene into closed executive session pursuant to Texas Government Code Sections 551.071 and 551.072, to seek the advice of legal counsel, and to deliberate upon the Main Street Rehabilitation Project, including real property and easements, in regards to 702 and 704 Main Street (Khonsari), and pending legal proceedings for 1113 Main Street (McDonald).

A motion was made by Mayor Pro Tem Nelson to authorize the Mayor to execute an agreement with the owner of 702 and 704 Main for limited construction on the sidewalk consistent with the direction given in Executive Session, seconded by Council Member Rogers, motion was approved on a 4-0-1 vote. Council Member Ennis recused himself.

ADJOURNMENT

Adjourned at 9:06 p.m. without objection.

APPROVED:

ATTEST:

Mayor Connie B. Schroeder

City Secretary Ann Franklin

The Minutes were approved on July 28, 2020, by Council Member motion, Council Member second. The motion was approved on a vote.



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 8B

TITLE:

Consider action to approve the second reading of Ordinance No. 2020-19 of the City Council of the City of Bastrop, Texas, amending the development standards for the Bastrop Grove Residential Planned Development District with a residential base use for 67.111 acres out of the Nancy Blakey Survey, Abstract 98, Located south of Agnes Street and east of State Highway 304, within the city limits of Bastrop, Texas; as shown in Exhibits A & B; including a severability clause; establishing an effective date.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

ITEM DETAILS:

Site Address: South of Agnes Street and east of State Highway 304 (Exhibit A)
Total Acreage: 67.111 acres
Legal Description: 67.111 acres out of Nancy Blakey Survey, Abstract 98
Property Owner: Holt Dunlop - Waymaker Ventures
Agent Contact: John Kim, PE, BGE, Inc.
Existing Use: Vacant/Undeveloped
Existing Zoning: Bastrop Grove Residential Planned Development District (Ordinance No. 2019-59)
Future Land Use: Transitional Residential

BACKGROUND/HISTORY:

The applicant is requesting some amendments to the language of the adopted Bastrop Grove Residential Planned Development District (Ordinance No. 2019-59). The original PDD zoning request was presented and approved at the November 12 and 26, 2019 City Council meetings.

The current ordinance has a base zoning district of Single-Family – 7 (previous zoning code) and included a Concept Plan with 337 residential and multi-family lots and eleven open space lots providing 5.36 acres of open space for the proposed development. Nothing within the main concept plan is being amended.

The applicant has requested text changes to the development standards contained within the Planned Development District document (Exhibit B).

Summary of Proposed Amendments:

- **Add an Administrative Adjustment to Development Plan process.** This will allow the Director of Planning & Development to make minor modifications to the development standards which:

- A. Do not increase the overall density and/or traffic impacts of the development;
- B. Allows a deviation of up to 5% in a numerical standard in the Development Plan; or
- C. Has no significant adverse impact upon neighboring properties, the public, or persons who will occupy or use the proposed development.

Changes in allowable uses will not be approved administratively.

- **Changes to the amount and location of parking for the single-family and multifamily lots.** This complies with the intent of the Bastrop Building Block (B³) Code, which does not have a parking requirement.
- **Changes to the minimum dwelling unit sizes.**
 - 35-foot lots – reduced minimum from 1,000 square feet to 800
 - 40-foot lots – reduced from 1,000 square feet to 800
 - 50-foot lots – reduced minimum from 1,400 square feet to 1,000
 - Multiple-Family Dwelling Units – reduced from 600 square feet to 500

These changes will allow the homebuilder more flexibility with floor plans and housing products. The B³ Code defaults to the minimum dwelling requirements of the International Residential Code and this change is more in line with this standard.

- **Parking along streets** - Added language that roadways 20 to 26 feet wide will have no parking allowed on both sides, and 26 feet to less than 32 feet will only allow parking on one side. These are the base standards of the 2018 International Fire Code
 - **Staff recommends adopting the Bastrop Building Block Code Article 7.3 New Street Types instead.** These cross sections were studied during the Building Bastrop process and were established to provide a multimodal, walkable environment, while being fiscally sustainable for the City.
 - Rather than design each street within the development during the Public Improvement Plan process, this would provide established cross sections that will be used in future development.
 - **Prior to the Planning & Zoning Commission meeting, the Applicant agreed to this condition. The revised language can be found on page 5, 11, and 12.**
- **Street side building setback encroachment for alley-loaded lots** – This would allow up to a one-foot protrusion from the building into the street side building setback on a corner lot.
- **Clarify the Differentiation Standards for construction.** This section was copied directly from the previous development codes. The intent of this section is to provide variety of building facades to create visual interest along the street. The new language echoes the requirements of the B³ Code.
- **Removed Example Lot Elevations** – These are unnecessary. The building plans will be reviewed against the Development Standards of this Planned Development District and the International Residential Code.



PUBLIC NOTIFICATION:

Notifications were mailed to 14 property owners within two hundred feet (200') of the subject property (Attachment 1) and two signs were placed on site on June 12, 2020. At the time of this report, no responses have been received.

POLICY EXPLANATION:

Zoning requests are reviewed by the Development Review Committee, which makes a recommendation to the Planning & Zoning Commission. The zoning application and P&Z recommendations are then forwarded to City Council for final approval.

The Development Review Committee met on May 28, 2020 and made the recommendation of denial of the Planned Development District amendments unless the following conditions are met:

- Change 1.5 Area Regulations, G Parking Regulations ii) Alley-Loaded Dwelling Units to read:
 - A minimum of two (2) parking spaces behind the main structure up to the 5-foot rear setback.
- Remove 1.7 Street Width, B & C and replace with:
 - Streets shall follow the adopted Street Type cross-sections from the B³ Code (Article 7.3). Any modifications to the street cross sections needed to fit in existing rights-of-way must occur between back of curb and the property line.
- **The Applicant has agreed to these conditions and have included them in Exhibit A – Bastrop Grove Residential Planned Development District (Pages 5, 11, 12).**

PLANNING & ZONING COMMISSION RECOMMENDATION:

The Planning & Zoning Commission considered the request and held a public hearing at the June 25, 2020 regular meeting. The Commission voted 6-1 to recommend approval of the amendments to the Bastrop Grove Residential Planned Development District with the conditions recommended by the Development Review Committee.

The Applicant was present for the meeting and agreed to revise the Bastrop Grove Residential Planned Development District document (Exhibit B) to include the changes.

RECOMMENDATION:

Consider action to approve the second reading of Ordinance No. 2020-19 of the City Council of the City of Bastrop, Texas, amending the development standards for the Bastrop Grove Residential Planned Development District with a residential base use for 67.111 acres out of the Nancy Blakey Survey, Abstract 98, located south of Agnes Street and east of State Highway 304, within the city limits of Bastrop, Texas; as shown in Exhibits A & B; including a severability clause; establishing an effective date.

ATTACHMENTS:

- Ordinance No. 2020-19
- Exhibit A: Location Map
- Exhibit B: Bastrop Grove Residential Planned Development District
- Attachment 1: Surrounding Property Notification
- Attachment 2: DRC Formal Action Form

ORDINANCE 2020-19

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS, AMENDING THE DEVELOPMENT STANDARDS FOR THE BASTROP GROVE RESIDENTIAL PLANNED DEVELOPMENT DISTRICT WITH A RESIDENTIAL BASE USE FOR 67.111 ACRES OUT OF THE NANCY BLAKEY SURVEY, ABSTRACT 98, LOCATED SOUTH OF AGNES STREET AND EAST OF STATE HIGHWAY 304, WITHIN THE CITY LIMITS OF BASTROP, TEXAS; AS SHOWN IN EXHIBITS A & B; INCLUDING A SEVERABILITY CLAUSE; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, WayMaker Ventures (hereinafter referred to as “Applicant”) submitted a request to amending the Bastrop Grove Residential Planned Development District development standards for 67.111 acres out of the Nancy Blakey Survey, Abstract 98, within the City limits of Bastrop, Texas, hereinafter referred to as “the Property”; and

WHEREAS, a location map is attached hereto as Exhibit “A” (the “Property”); and

WHEREAS, the Property is currently zoned as PDD, Planned Development District; and

WHEREAS, the Applicant is seeking to amend the development standards for a Planned Development District with a base residential use for 377 residential and multi-family units, which includes three different single-family detached lot sizes and one multi-family lot size; and

WHEREAS, the Bastrop Grove Residential Planned Development District attached as Exhibit B establishes the development standards, which include street connections, lot sizes, uses and open space provisions; and

WHEREAS, the Future Land Use Designation for this Property is Transitional Residential, which allows residential uses of varying sizes and product types as well as associated amenities that are related to and support neighborhood residential land uses; and

WHEREAS, pursuant to Section 10.4 of the City’s Zoning Ordinance and Texas Local Government Code Section 211, notice of the rezoning was given to all property owners located within two hundred (200) feet of the Property, and the Planning and Zoning Commission of the City of Bastrop held a public hearing on the rezoning request on June 25, 2020; and

WHEREAS, after notice and hearing, the Planning and Zoning Commission has recommended approval of the proposed request by a vote of 6-1; and

WHEREAS, the City Council of the City of Bastrop held a public hearing on July 14, 2020 to consider the Applicant's request; and

WHEREAS, after consideration of public input received at the hearing, the information provided by the Applicants, and all other information presented, City Council finds that it is in the public interest to approve the rezoning to amend the development standards.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS THAT:

Section 1: The Planned Development District, situated on 67.111 acres of the Nancy Blakey Survey, Abstract 98, located south of Agnes Street and east of State Highway 304, city limits of Bastrop, Texas as more particularly shown and described on attachments Exhibit A, shall be amended to update the development standards for the Bastrop Grove Residential Planned Development District, as attached in Exhibit B.

Section 2: If any provision of this ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this ordinance, which can be given effect without the invalid provision or application, and to this end, the provisions of this ordinance are hereby declared to be severable.

Section 3: This ordinance shall take effect upon the date of final passage noted below, or when all applicable publication requirements, if any, are satisfied in accordance with the City's Charter, Code of Ordinances, and the laws of the State of Texas.

READ and ACKNOWLEDGED on First Reading on the 14th day of July 2020.

READ and APPROVED on the Second Reading on the 28th day of July 2020.

APPROVED:

Connie B. Schroeder, Mayor

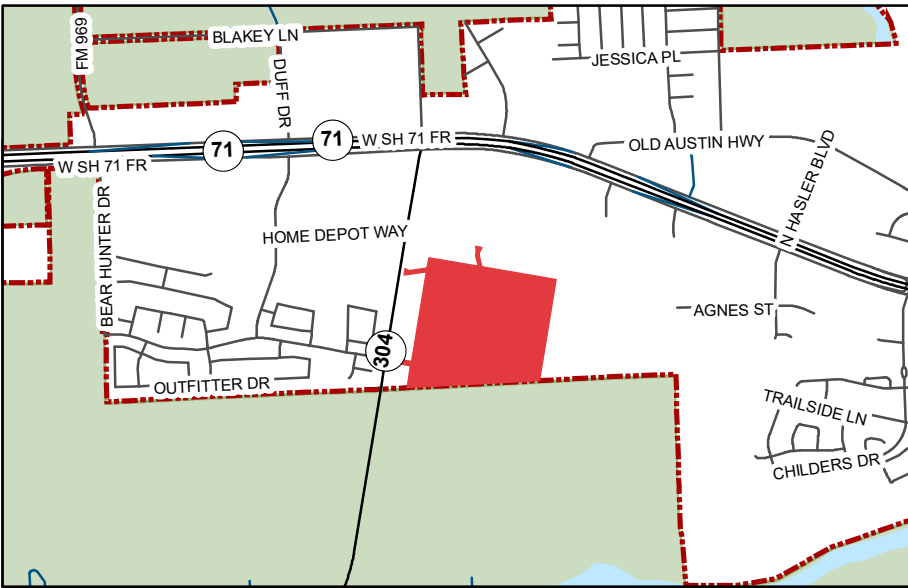
ATTEST:

Ann Franklin, City Secretary

APPROVED AS TO FORM:

Alan Bojorquez, City Attorney

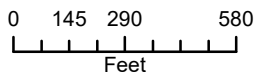
Exhibit A Location Map



The Grove Planned Development District

Date: 7/10/2019

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.



1 inch = 500 feet



Bastrop Grove Residential Planned Development District

Revised on June 26, 2020

by

WMV Bastrop 71, LLC

and

BGE, Inc.

Bastrop Grove Planned Development District

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Chapter 1 – Zoning

Section 1 – SF-7 – Single Family Residential 7 District Base Zoning

1.1 General Purpose and Description

The Bastrop Grove Residential Planned Development District is a master planned neighborhood to be comprised of a mix of lots smaller than the minimum standards currently offered in the Bastrop Code of Ordinances. The Single-Family 7 (SF-7) district will act as the base-zoning district for any standard not listed in this document.

1.2 Administrative Adjustment to the Development Plan

The Director of Planning & Development shall have the authority to administratively approve a minor adjustment to the standards and requirements of the Planned Development. A minor adjustment is one which:

- A Does not increase the overall density and/or traffic impacts of the development;
- B Allows a deviation of up to 5% in a numerical standard in the Development Plan; or
- C Has no significant adverse impact upon neighboring properties, the public or persons who will occupy or sue the proposed development

Changes in allowable uses will not be approved administratively.

1.3 Permitted Uses

- A Single-family detached dwellings
- B Two-family residence (duplex)
- C Multiple-family dwelling greater than two (2) units per building

1.4 Height Regulations

- A Maximum Height: Two and one-half (2 ½) stories for the main building. Overall height must be less than thirty-five (35') feet
- B One story for accessory buildings without garages

1.5 Area Regulations

- A Size of Lots
 - i) Minimum Lot Area – three thousand eight hundred fifty (3,850) square feet
 - ii) Minimum Lot Width – Thirty-five feet (35') as measured at the building setback line
 - iii) Minimum Lot Depth – One hundred ten feet (110'), with fifteen percent (15%) of lots at ninety-five (95') minimum
 - iv) A minimum of five percent (5%) of the total number of residential lots will have a lot width of fifty feet (50') as measured at the building setback line
- B Size of Yards (See Figure #2)
 - i) Minimum Front Yard – Fifteen feet (15')
 - ii) Minimum Interior Side Yard – Five feet (5')
 - iii) Minimum Exterior (Corner) Side Yard – Fifteen feet (15')
 - iv) Minimum Rear Yard – Fifteen feet (15'); twenty feet (20') on residential properties abutting nonresidential uses; five feet (5') on lots with alley-loaded garages rear parking
- C Front yard setbacks on single-family lots wider than forty feet (40') will be required to be staggered by an additional five feet (5') every third adjoining lot on the same block
- D Building Separation (Multiple-family dwelling units) – ~~One story, fifteen feet (15'); two stories, twenty feet (20')~~ Separation distance between buildings shall meet all fire code requirements

- E Maximum Lot Coverage – Sixty percent (60%) by main buildings and accessory buildings
- F Maximum Impervious Cover – Sixty percent (60%)
- G Parking Regulations
 - i) Single-Family Dwelling Units
 - ~~1.—A minimum of two (2) uncovered spaces between the front building line and right-of-way on the same lot as the main structure.~~
 - 1. Each front loaded single-family home will have a minimum of two parking spaces, covered or uncovered, behind the front building setback. Additional uncovered parking spaces will be allowed between the building setback line and right-of-way
 - 2. On-site parking is not allowed to be located within the right-of-way and back of curb.
 - ii) Alley-Loaded Dwelling Units
 - 1. A minimum of two (2) covered parking spaces behind the rear building line on the same lot as the main structure. main structure up to the 5-foot rear setback
 - iii) Multiple-Family Dwelling Units
 - ~~1.—A minimum of two (2) covered spaces for each unit behind the front building line on the same lot as each dwelling unit~~
 - 1. A minimum of two (2) parking spaces for each dwelling unit
- H Dwelling Unit Ranges
 - i) Single-Family Dwelling Units
 - 1. Thirty-five (35) foot lot – ~~One thousand~~ eight hundred (1,000) (800) to three thousand five hundred (3,500) square feet
 - 2. Forty (40) foot lot – ~~One thousand~~ eight hundred (1,000) (800) to four thousand (4,000) square feet
 - 3. Fifty (50) foot lot – One thousand four hundred (1,400) (1,000) to four thousand three hundred (4,300) square feet
 - ii) Multiple-Family Dwelling Units – ~~Six~~ Five hundred (600) (500) to three thousand (3,000) square feet

1.6 Parks and Open Space Requirements

Parks and open spaces within the subdivision will intend to provide walkable and bike-able routes, space for active and passive recreation, playscape items, and shade trees in accordance with the City of Bastrop’s approved plant list.

- A Park areas – Development to include a minimum of 1 acre of park per 100 lots
 - i) Parks within the Planned Development to be maintained by the Homeowner’s Association
 - ii) Acreage within easements will be counted at 50% credit, while unencumbered acreage will be counted at 100%
 - iii) Open space lots to include minimum one three-quarters (0.75) acre open space lot and one-three (3) acre contiguous open space lot
 - iv) Improvement within the park acreage (such as trails or dog parks) will be detailed in the preliminary plat
 - v) Open space lots should not exceed a maximum of 60% on-site impervious cover
- B One (1) tree will be required every forty (40) linear feet of street frontage

1.7 Street Widths

~~Collector streets shall have a minimum dedicated right-of-way of sixty (60’) feet and a minimum paving width curb to curb of thirty-eight (38’) feet. Local streets shall have a minimum dedicated right-of-way of fifty (50’) feet and a minimum paving width curb to curb of thirty (30’) feet. See Figure #1.~~

~~A — Streets abutting the parkway shall have a minimum dedicated right-of-way of fifty (50') feet and a minimum paving width curb to curb of twenty four (24') feet.~~

- ~~i) — Parking will not be permitted on both sides of the roadway, except for the following provision;~~
- ~~1. — A bump out can be provided to allow sections of eight (8') feet parallel parking spaces.~~
 - ~~2. — Streets abutting the parkway shall have a minimum dedicated right-of-way of fifty (50') feet and a minimum paving width curb to curb of twenty four (24') feet.~~

Streets shall follow the adopted Street Type cross-sections from the B³ Code (Figure #1) with the modifications listed below:

i) Primary Multimodal Streets

1. Right-of-way width shall be a minimum of sixty (60) feet
2. Sidewalk shall have a minimum width of five (5) feet
3. The remaining area between the right-of-way and curb shall be dedicated to landscape and streetscape elements as required by the B³ Code

ii) Local Connector Streets

1. Right-of-way width shall be a minimum of fifty (50) feet
2. Sidewalk shall have a minimum width of four (4) feet
3. The remaining area between the right-of-way and curb shall be dedicated to landscape and streetscape elements as required by the B³ Code

1.2 Special Requirements

- A Recreational Vehicles, travel trailers or mobile homes, may not be used for on-site dwelling purposes.
- B Electrical fencing and barbed wire are prohibited as perimeter fencing
- C Open storage is prohibited.
- D Swimming pools shall be enclosed by a security fence not less than six feet (6') in height. All swimming pools security fences shall be constructed so as not to have openings, holes or gaps larger than two inches (2") in dimension, except for doors and gates. All doors and gates shall be equipped with self-closing, self-latching devices.
- E All residential structures shall have roof slopes with a minimum 4:12 pitch.
- F Sidewalks are required on both sides of the street.
- G ~~At least 50% of the driveways will be paired on alternate lot lines to allow for additional street parking. Each lot will include a total four (4) parking spaces, two spaces in the garage and two spaces in the driveway.~~
- H Residential lots with 5-foot setbacks will need to comply with regulations listed in the currently adopted City of Bastrop fire code.
- I All drainage easements within the subdivision will be maintained by the Property Owner's Association.
- J All drainage designs and calculations shall comply with all standards and processes outlined in the City of Bastrop Drainage Manual at the time of preliminary plat submittal.
- K Utility design will comply with the City of Bastrop design standards at the time of preliminary plat submittal.
- L A minimum of five percent (5%) of the total number of dwelling units will consist of multiple-family dwelling units.
- M The northern entrance into the property along TX-304 will be a right-in-right-out access driveway.
- N For alley-loaded lots, a maximum of a one foot (1') protrusion will be allowed in the street side building setback.
- O Other regulations – as established in the Development Standards, Sections 1 and 2, except as stated here.

Chapter 2 – Development Standards

Section 1 – Exterior Construction Requirements

1.1 Exterior Construction Standards:

A. *Definitions:* For the purpose of this section the following definitions shall apply:

1. *Masonry exterior construction* shall include all construction of stone material (including artificial stone), brick material, concrete masonry units, or concrete panel construction, which is composed of solid, cavity, faced, or veneered-wall construction.

The types of allowable masonry construction are listed below:

- a. *Stone Material:* Masonry construction using stone material may consist of granite, marble, limestone, slate, river rock, and other hard and durable naturally occurring all weather stone. Cut stone and dimensioned stone techniques are acceptable.
 - b. *Brick Material:* Brick material used for masonry construction shall be hard fired (kiln fired) clay or slate material that meets the latest standard contained within the building code. Unfired or underfired clay, sand, or shale brick are not allowed.
 - c. *Concrete Masonry Units:* Concrete masonry units used for masonry construction shall meet the latest standard contained within the building code. Concrete masonry units shall have an indented, hammered, split face finish or other similar architectural finish, and be integrally colored. Lightweight concrete block or cinder block construction is not acceptable as an exterior finish.
 - d. *Concrete Panel Construction:* Concrete finish, pre-cast panel or tilt wall construction shall be painted, fluted, or exposed aggregate. Smooth or untextured concrete finishes are not acceptable unless painted.
 - e. *Plaster Finishes:* Plaster (stucco) shall have a minimum overall thickness of 7/8".
2. *Siding* shall include fiber cement (e.g. Hardiplank) or wood products excluding vertical panels.
- B. Masonry exteriors and siding like hardiplank are acceptable exterior construction materials.

1.2 Construction Standards:

A. *Construction standards:* The standards and criteria contained within this section are deemed to be minimum standards and shall apply to all new, altered or repaired construction occurring within the City.

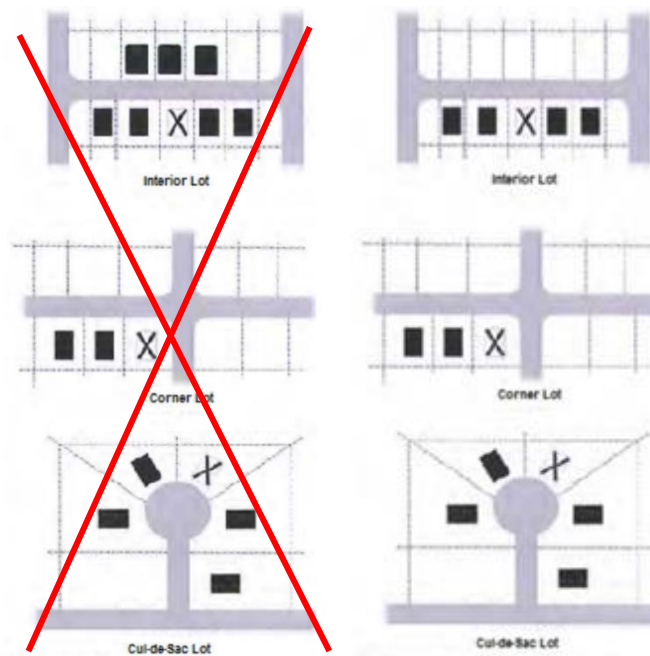
1. Residential Zoning Districts:

- a. Concrete, excluding 'siding' as defined above, or metal exterior construction is not permitted on any structural exterior wall in any residential use zoning district
- b. Exemptions:
 - (1) An accessory building two hundred and forty (240) square feet or less are excluded from this prohibition.
 - (2) On temporary construction buildings with a permit issued by the City Building Official.
- c. *Residential Design Standards:*
 - (1) *Similarity Restrictions.* Except as provided in subsection (i) below, no new dwelling that is similar in appearance to a neighboring dwelling is permitted. The standards to

determine such similarity are set forth below and shown by example in the figure contained in this section.

(i) *Differences in Appearance.*

- (a) Differences in bulk and massing shall be reviewed for the lots on either side of the proposed dwelling on the same side of the street, as shown in the following figure.
- (b) Where lots are interrupted by an intervening street, public parkland, or similar feature of at least 50 feet in width, no review shall be necessary.
- (c) The proposed building shall be considered different from any vacant lot for which no Building Permit has been issued without requiring further documentation.
- (d) **X-Home under Construction, should be different than the ■homes.**



(ii) *Differentiation.* The proposed dwelling shall differ from other applicable dwellings by providing different variations in the front façade. This can be met through the use of different floor plans, mirrored building façades, or changes in plane on the front façade. All structures must have at least one articulation or change in plane, but no more than three, on the front façade of the house, or at least one architectural projection, (front porch, stoop, bay window, dormer, etc.) included on the front façade that may encroach into the front setback up to five feet. The proposed dwelling shall differ from other applicable dwellings in at least two of the four criteria listed below (see Figures 9-12).

- ~~(a) The dwelling differs in the number of full stories.~~
 - ~~Single-story; or~~
 - ~~Two-story~~
- ~~(b) The dwelling has a different type of garage.~~
 - ~~Front loaded garage (one or two car);~~

- ~~Side-loaded garage; or~~
- ~~Detached garage.~~
- ~~(c) The dwelling has a different roof type~~
 - ~~Gable;~~
 - ~~Hip;~~
 - ~~Gambrel;~~
 - ~~Mansard; or~~
 - ~~All of the above roof types are rotated 90 degrees.~~
- ~~(d) The dwelling has different variations in the front facade.~~
 - ~~The garage is set back a minimum of 4 feet from the front facades.~~
 - ~~A covered, open-walled porch at least 6 feet in depth extends a minimum of 33% of the width of the front facade; or~~
 - ~~Other articulation of the front facade at least 4 feet in depth extends at least 33% of the width of the front facade.~~

(iii) *Application Review.*

- (a) Acceptable documentation may include photographs of the other structures in question (no building elevations are required).
- (b) A subdivision or phase thereof may be reviewed as a whole for conformity with this requirement, provided that adequate documentation to ensure conformity is submitted with the plat. Such documentation is not required to be recorded as part of the plat.
- (c) The Building Official shall review the submitted documentation and any previously approved Building Permits and make a determination. Where the Building Official finds that a dwelling for which a Building Permit is being requested is similar in appearance based on the standards above, the Building Permit shall be denied.

Section 2 – Supplemental Regulations

2.1 Setbacks

All setback measurements shall be made in accordance with Figures 4, 5, and 6.

2.2 Front Yard

- A On all corner lots, the front yard setback shall be observed along the frontage of both intersecting streets, unless approved specifically otherwise on a final plat. Where single-family lots have: double frontage, extending from one street to another, or are on a corner, a required front yard shall be provided on both streets unless a side or rear yard building line has been established along one frontage on the plat, in which event only one required front yard need be observed. The side and/or rear yards in the case of single-family uses shall be identified and the front of the structure shall not face the side or rear yard (see Figure 7). For lots on a corner, the property line having the narrowest dimension shall be considered the front.
- B The front yard shall be measured from the property line to the front face of the building, covered porch, covered terrace or attached accessory building. Eaves and roof extensions or a porch without posts or columns may project into the required front yard for a distance not to exceed four feet (4'), and subsurface structures, platforms or slabs may not project into the front yard to a height greater than thirty inches (30") above the average grade of the yard (see Figure 3).
- C Minimum lot widths for lots with predominate frontage on the curved radius of a dedicated cul-de-sac street shall be forty feet (40'), measured at the front building line.
- D Where a future right-of-way line has been established for future widening or opening of a street or thoroughfare, upon which a lot abuts, then the front, side, or rear yard shall be measured from the future right-of-way line.
- E Roof overhangs up to four feet (4') and A/C units are specifically allowed within the interior side yard.

2.3 Side Yards

- A. Every part of a required side yard shall be open and unobstructed except for the ordinary projections of window sills, belt courses, cornices, and other architectural features not to exceed twelve inches (12") into the required side yard, and roof eaves projecting not to exceed thirty-six inches (36") into the required side yard. Air conditioning compressors and similar equipment are permitted in the side yard.
- B. Where a future right-of-way line has been established for future widening or opening of a street or thoroughfare, upon which a lot abuts, then the front, side, or rear yard shall be measured from the future right-of-way line.

2.4 Rear Yards

- A. Minor building elements – including decks, patios, and terraces – may encroach into the required rear yard setback.

2.5 Sight Visibility

Visual clearance shall be provided in all zoning districts so that no fence, wall, architectural screen, earth mounding or landscaping three feet (3') or higher above the street center line obstructs the vision of a motor vehicle driver approaching any street, alley, or driveway intersection as follows:

- A. At a street intersection, clear vision must be maintained for a minimum of twenty-five feet (25') across any lot measured from the corner of the property line in both directions (see Figure 8).
- B. At an intersection with an alley, this clearance must be maintained for ten feet (10') (see Figure 8).

- C. Shrubs and hedges three feet (3') or less in height, as measured from the centerline of the street, may be located in the visual clearance areas of all districts.

2.6 Fencing and Screening

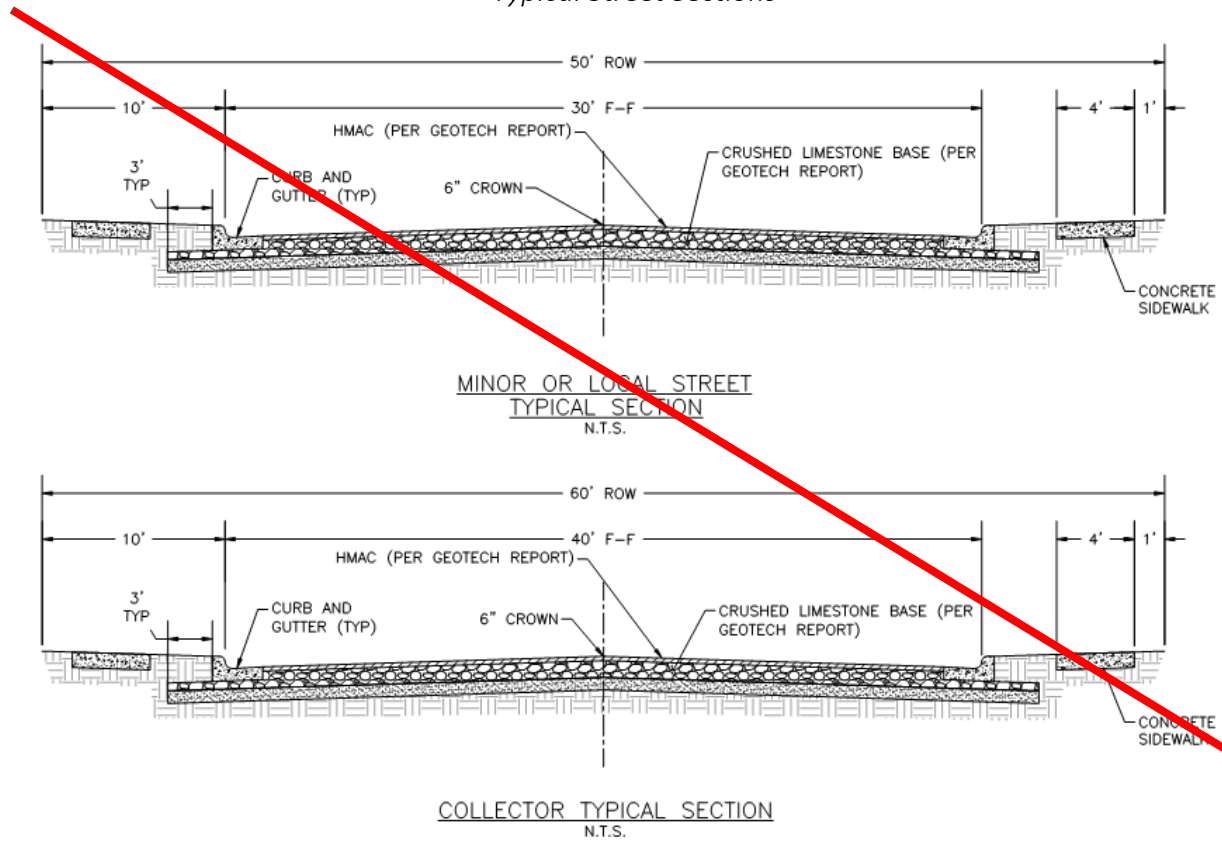
- A. Fences that abut open space must have open, metal decorative fencing.
- B. Fences for rear property lines along the right-of-way must have open, metal decorative fencing.
- C. Chain link, woven wire mesh or similar materials are not considered decorative fencing.
- D. If a screening wall has been constructed between nonresidential and residential uses, a fence will not be required on the residential property.
 - 1. If a fence is constructed for the residential use prior to the development of the nonresidential use, the fence is encouraged to be removed once the screening wall for the nonresidential use is constructed.
- E. One (1) two-inch caliper tree will be required to be planted in the rear lot of any residential property abutting a nonresidential use.

2.7 Street Lighting

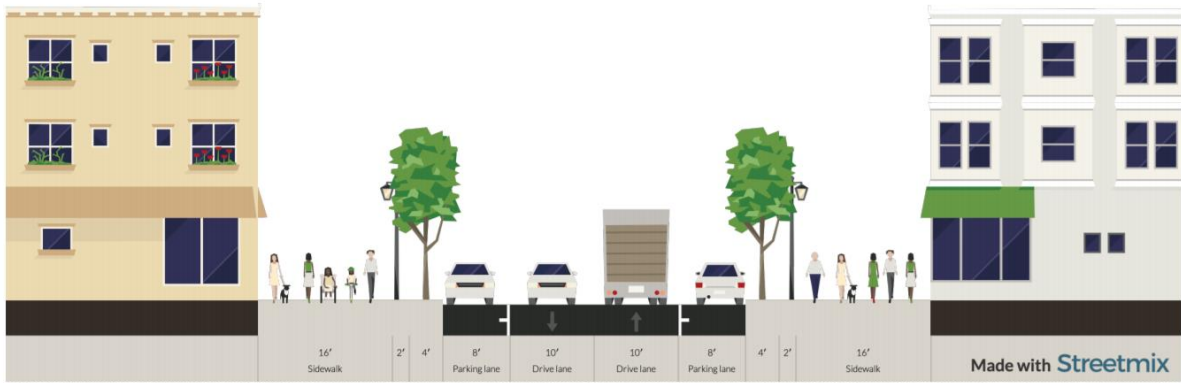
The installation of street lights and associated facilities shall be coordinated with Bluebonnet Electric Cooperative. Lighting design shall comply with the City of Bastrop lighting standards at the time of preliminary plat submittal.

Appendix A – Figures

FIGURE #1
Typical Street Sections

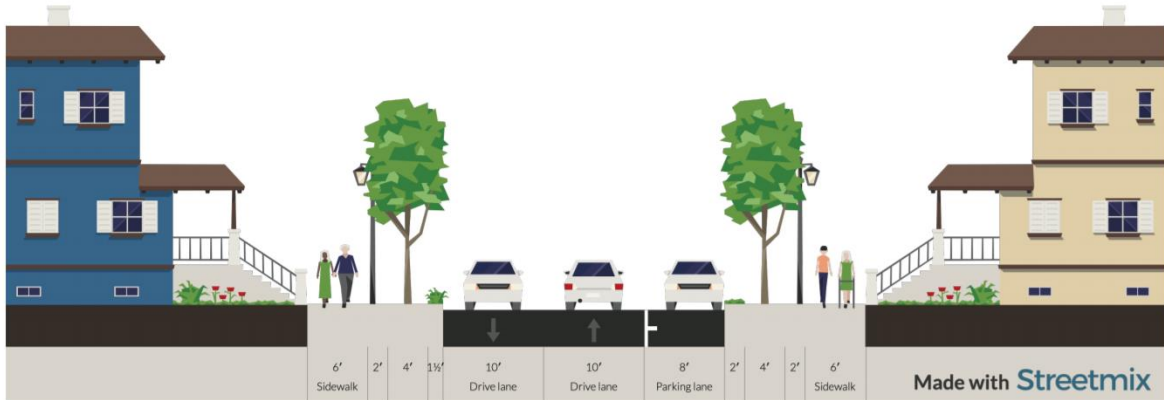


SEC. 7.3.003 PRIMARY MULTIMODAL STREET: REGIONAL COMMERCIAL



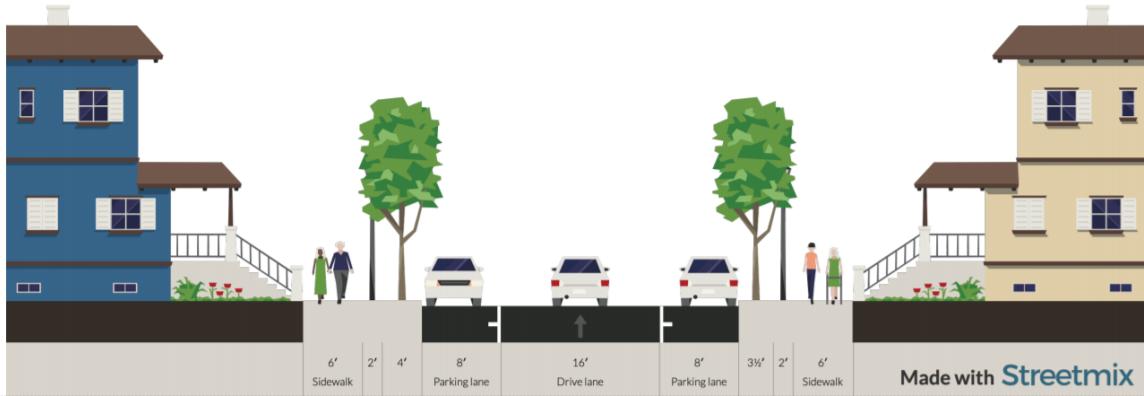
Street Type:	Two-way Street with parking	Planter Type:	Tree Well
Right-of-Way Width:	80 feet	Curb Type:	Standard 6-inch Curb
Pavement Width	36 feet	Landscape Type:	Trees at 30 feet O.C. average
Design Speed:	25 MPH	Building Types Allowed:	See B ³ Code Article 6.5
Traffic Lanes:	Two lanes at 10 feet each	Frontage Line Setback:	See B ³ Code Sec. 6.5.003
Parking Lanes	Both sides parallel at 8 feet, marked	Private Frontage Allowed:	See B ³ Code Sec. 6.5.002
Curb Radius	15 feet	Street Lights:	Shielded Post and Column type
Walkway Type	16-foot Sidewalk	Place Types:	P5

SEC. 7.3.005 LOCAL CONNECTOR STREET: NEIGHBORHOOD STREET A



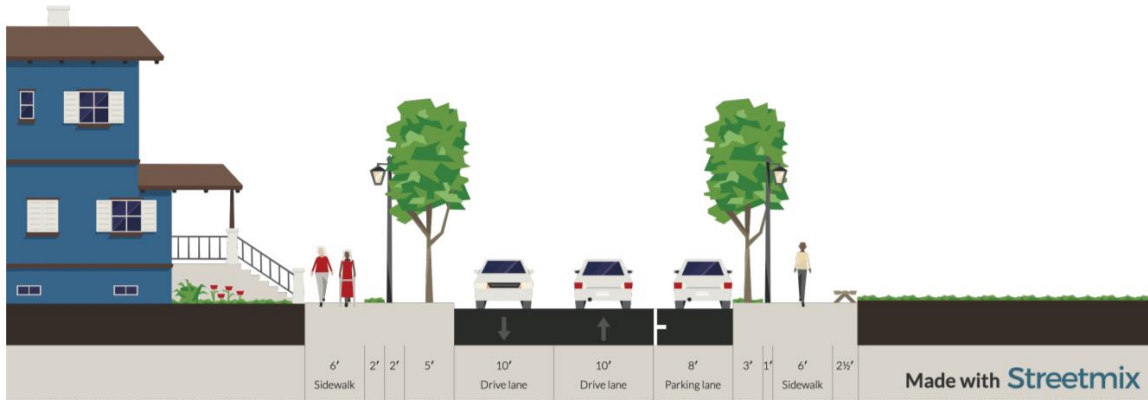
Street Type:	Two-way Street with parking	Planter Type:	Continuous planter
Right-of-Way Width:	55.5 feet	Curb Type:	Standard 6-inch Curb
Pavement Width	28 feet	Landscape Type:	Trees at 30 feet O.C. average
Design Speed:	20 MPH	Building Types Allowed:	See B ³ Code Article 6.5
Traffic Lanes:	Two lanes	Frontage Line Setback:	See B ³ Code Sec. 6.5.003
Parking Lanes	One side at 8 feet, marked	Private Frontage Allowed:	See B ³ Code Sec. 6.5.002
Curb Radius	15 feet	Street Lights:	Shielded Post and Column type
Walkway Type	6-foot Sidewalk	Place Types:	P3, P4

SEC. 7.3.006 LOCAL CONNECTOR STREET: NEIGHBORHOOD STREET B



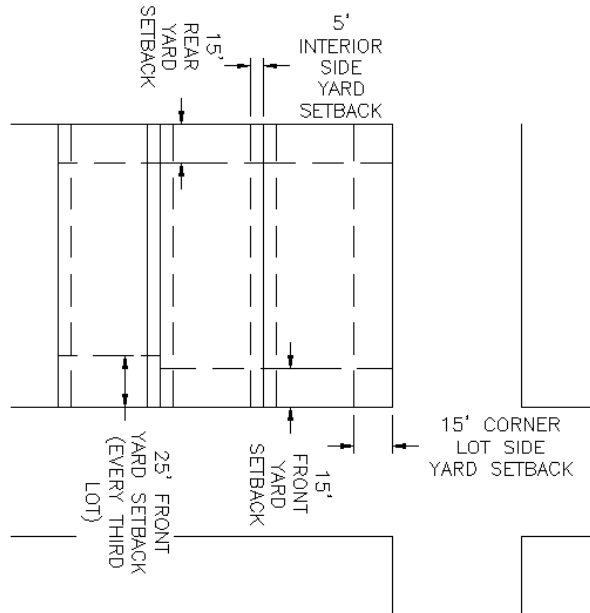
Street Type:	Two-way Street with parking	Planter Type:	Continuous planter
Right-of-Way Width:	55.5 feet	Curb Type:	Standard 6-inch Curb
Pavement Width	28 feet	Landscape Type:	Trees at 30 feet O.C. average
Design Speed:	20 MPH	Building Types Allowed:	See B ³ Code Article 6.5
Traffic Lanes:	Two-way Yield Street	Frontage Line Setback:	See B ³ Code Sec. 6.5.003
Parking Lanes	Both sides parallel at 8 feet, marked	Private Frontage Allowed:	See B ³ Code Sec. 6.5.002
Curb Radius	15 feet	Street Lights:	Shielded Post and Column type
Walkway Type	6-foot Sidewalk	Place Types:	P3, P4

SEC. 7.3.010 LOCAL CONNECTOR STREET: PARK DRIVE

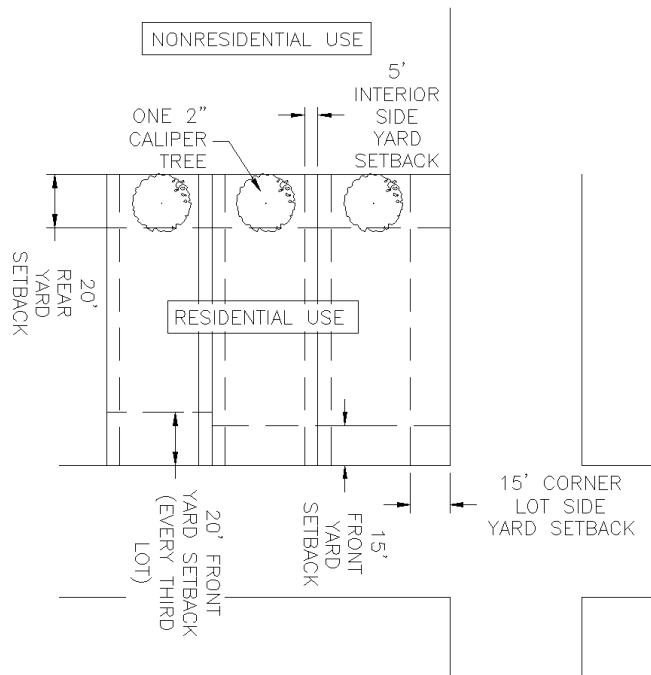


Street Type:	Two-way with parking on Park side	Planter Type:	Continuous planter
Right-of-Way Width:	55.5 feet	Curb Type:	Standard 6-inch Curb
Pavement Width	28 feet	Landscape Type:	Trees at 30 feet O.C. average
Design Speed:	25 MPH	Building Types Allowed:	See B ³ Code Article 6.5
Traffic Lanes:	Two Lanes - 10 feet wide	Frontage Line Setback:	See B ³ Code Sec. 6.5.003
Parking Lanes	8 feet, park side only	Private Frontage Allowed:	See B ³ Code Sec. 6.5.002
Curb Radius	10 feet	Street Lights:	Post and Column type
Walkway Type	6 feet sidewalk	Place Types:	P3, P4

FIGURE #2
Lot Setback Exhibits



TYPICAL YARD SETBACK EXHIBIT
 (1:50 SCALE)



TYPICAL YARD SETBACK EXHIBIT
 (RESIDENTIAL USE ABUTTING NONRESIDENTIAL USE)
 (1:50 SCALE)

FIGURE #3
Front Yard Measurement Exhibit

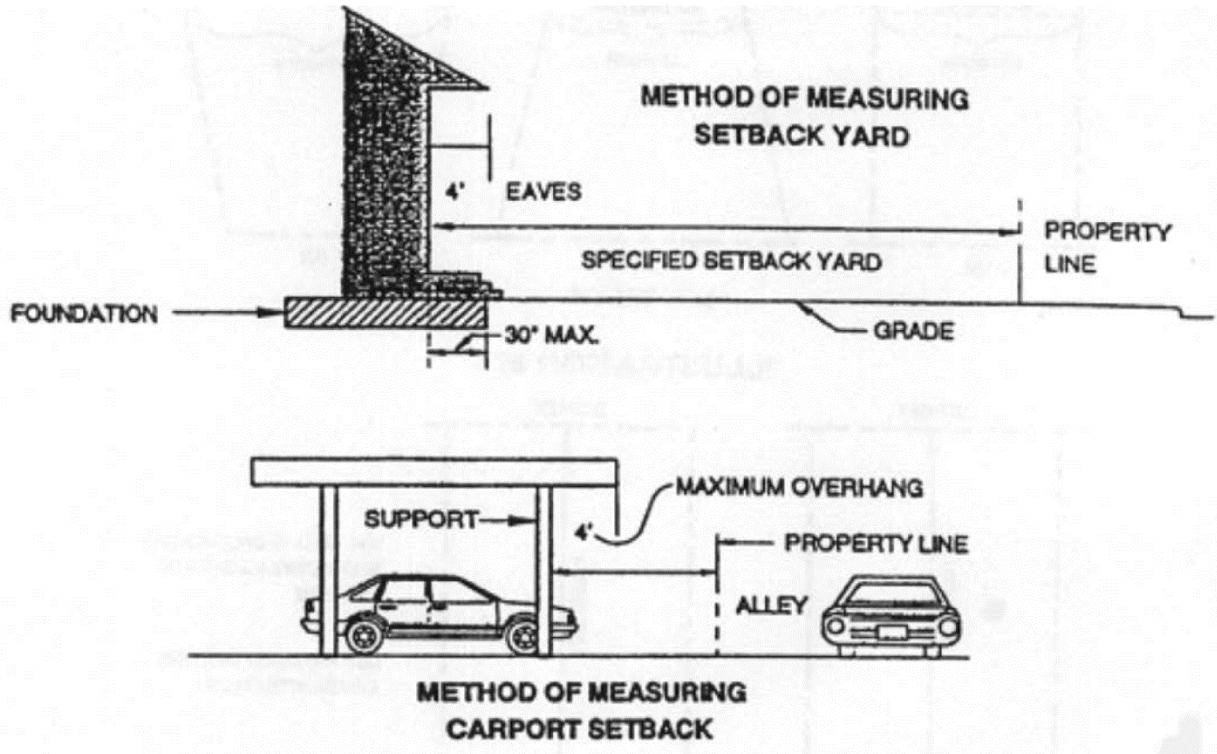


FIGURE #4
Lot Width Exhibit

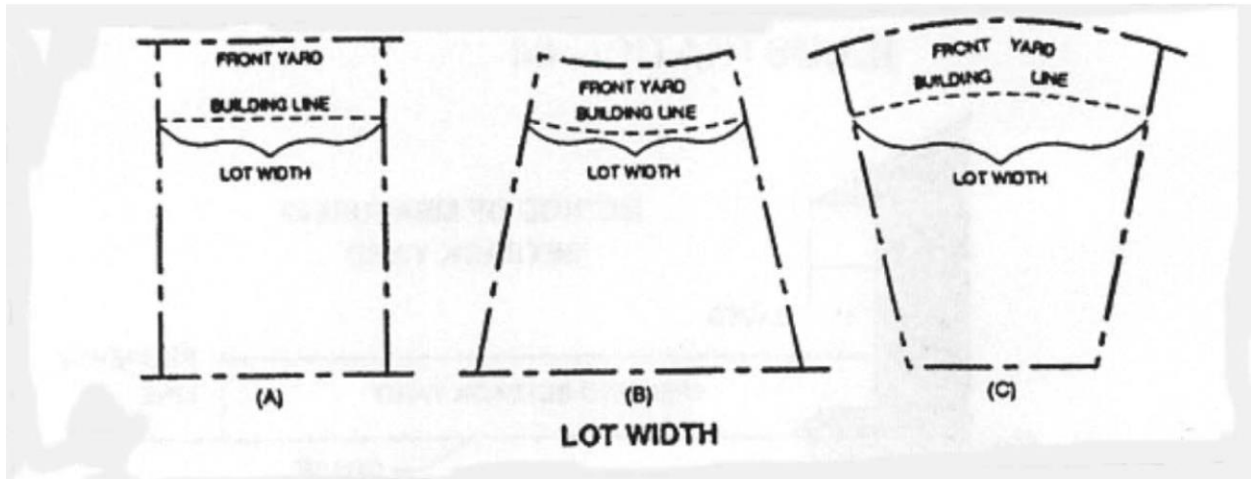


FIGURE #5
Lot Area & Depth Exhibit

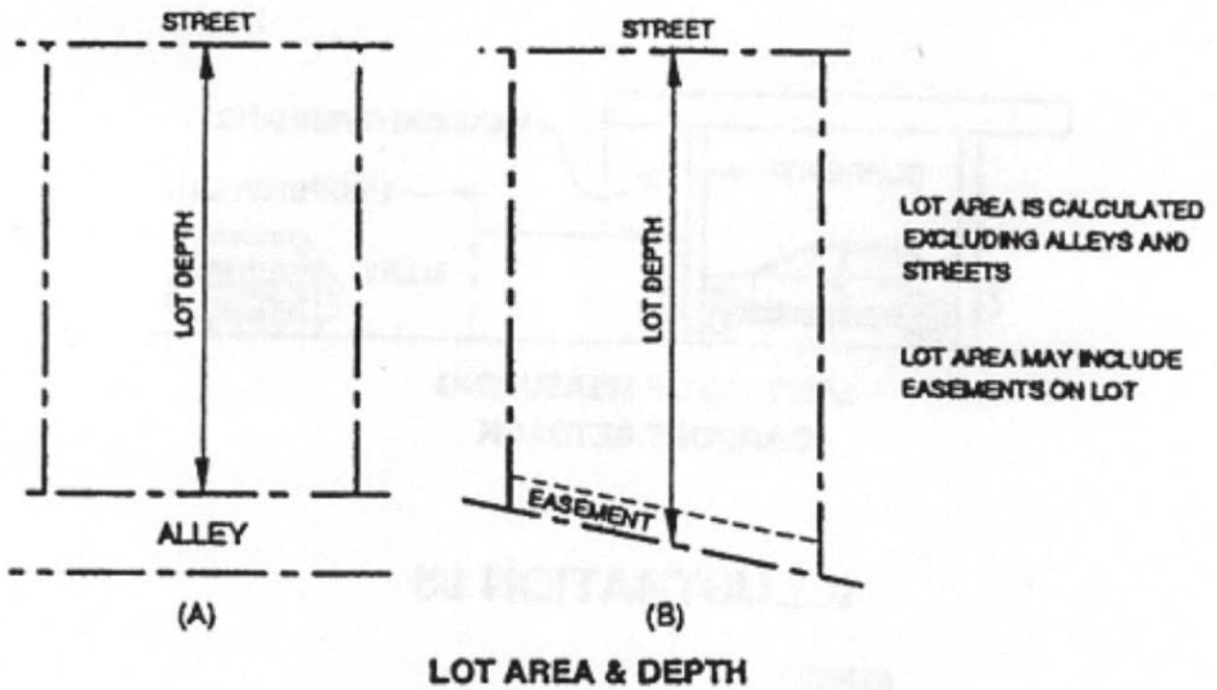


FIGURE #6
Lot Yard Exhibit

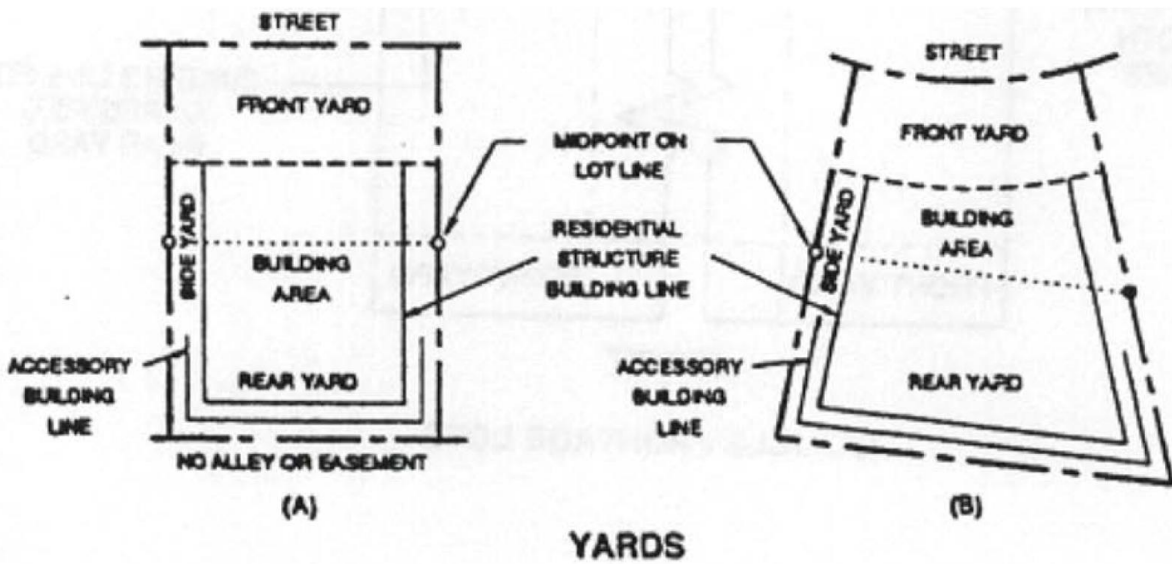


FIGURE #7

Corner Lot Exhibit

CORNER LOT

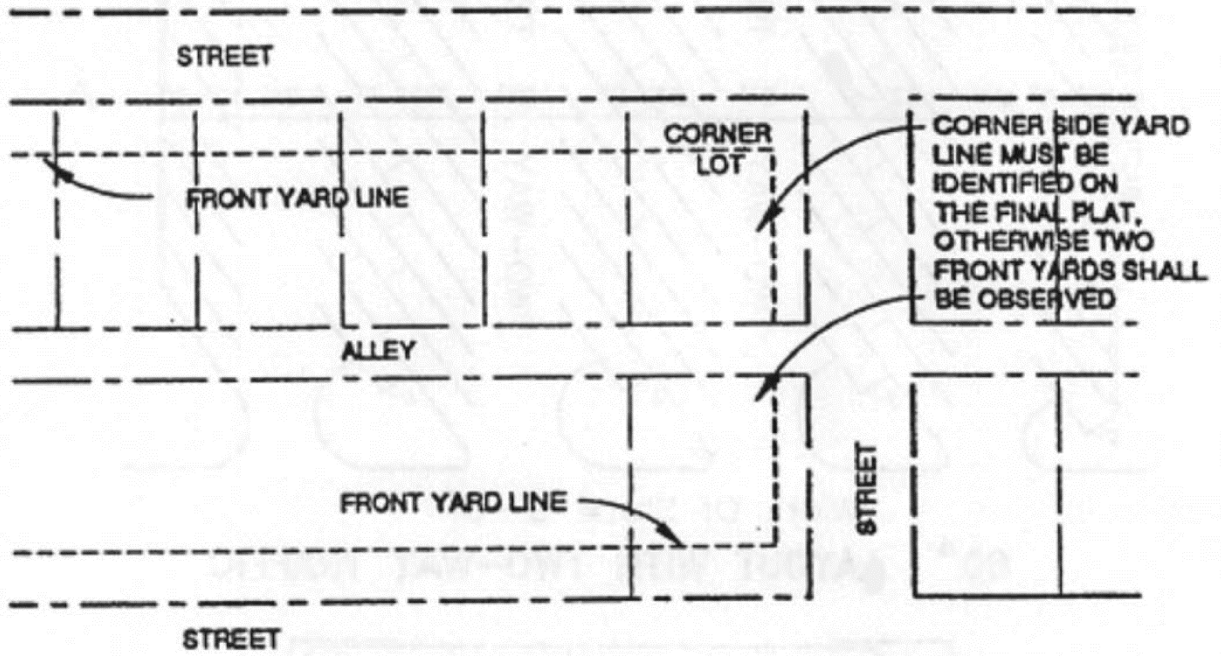


FIGURE #8

Fence & Sight Requirements for Corner Lots

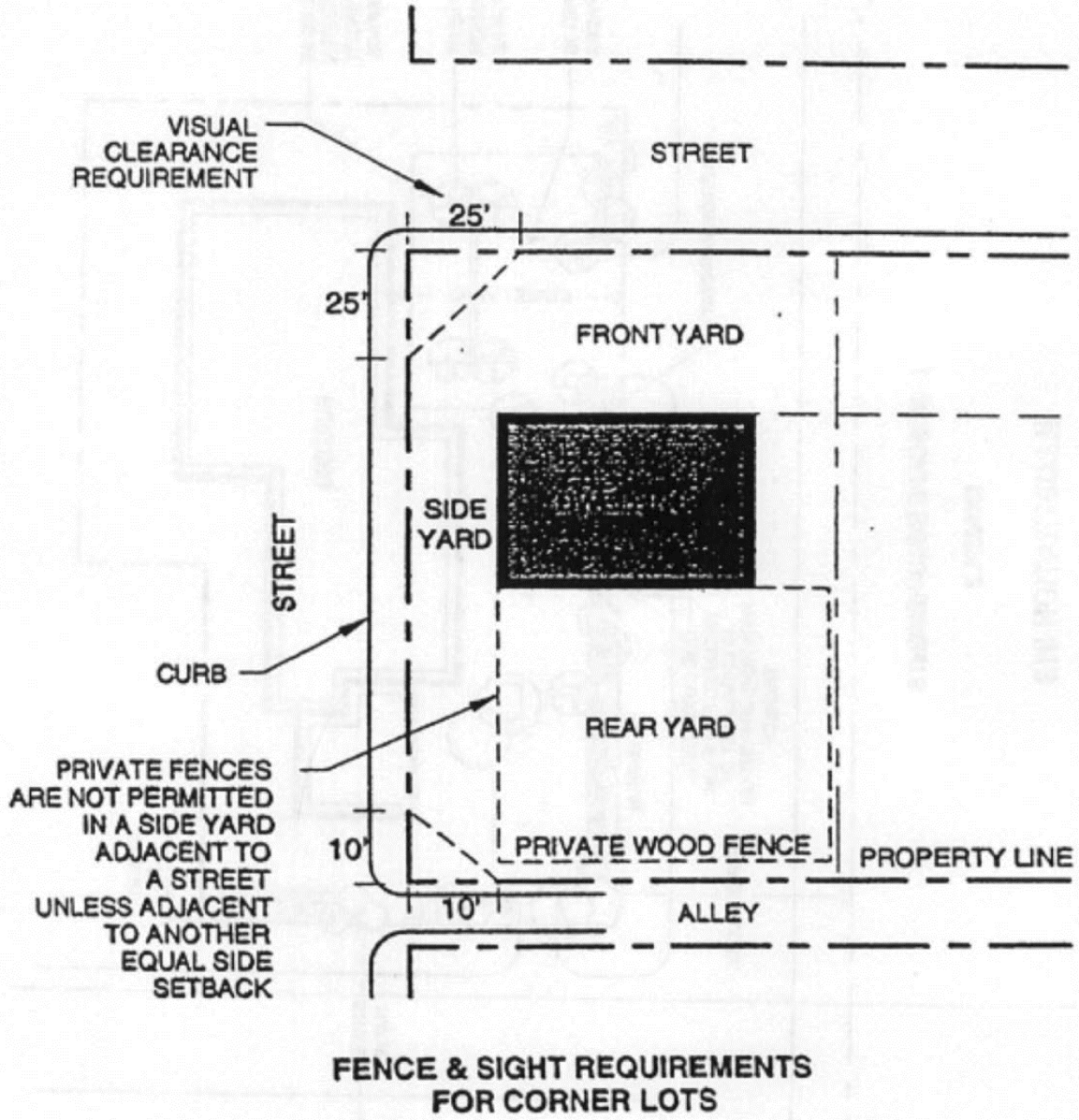


FIGURE #9
Example 40' Lot Elevation

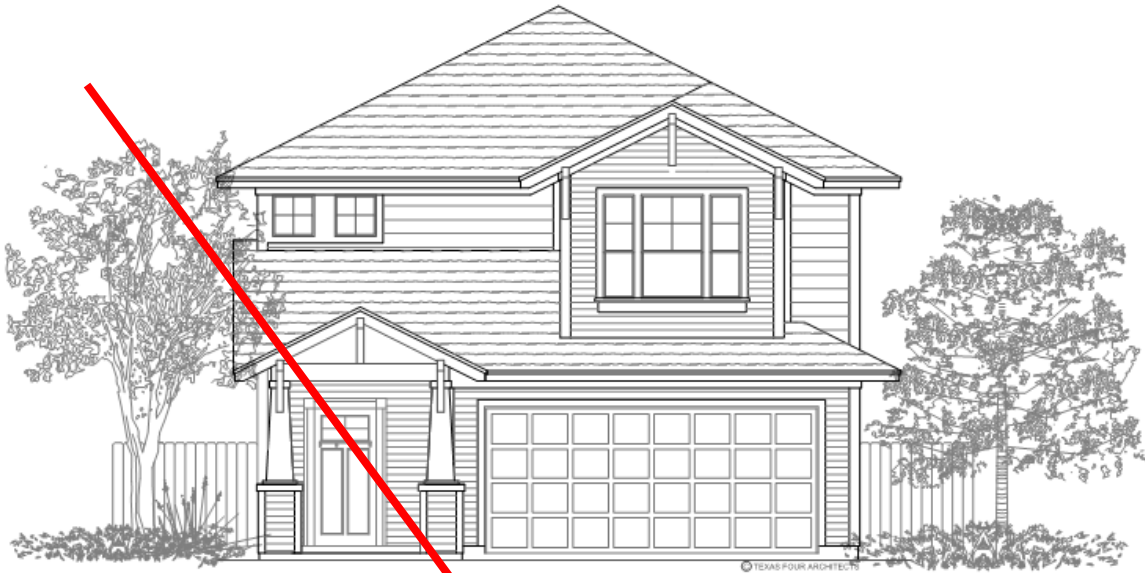


FRONT ELEVATION - A



FRONT ELEVATION - B

FIGURE #10
Example 40' Lot Elevation



FRONT ELEVATION - A



FRONT ELEVATION - B

FIGURE #11
Example 40' Lot Elevation

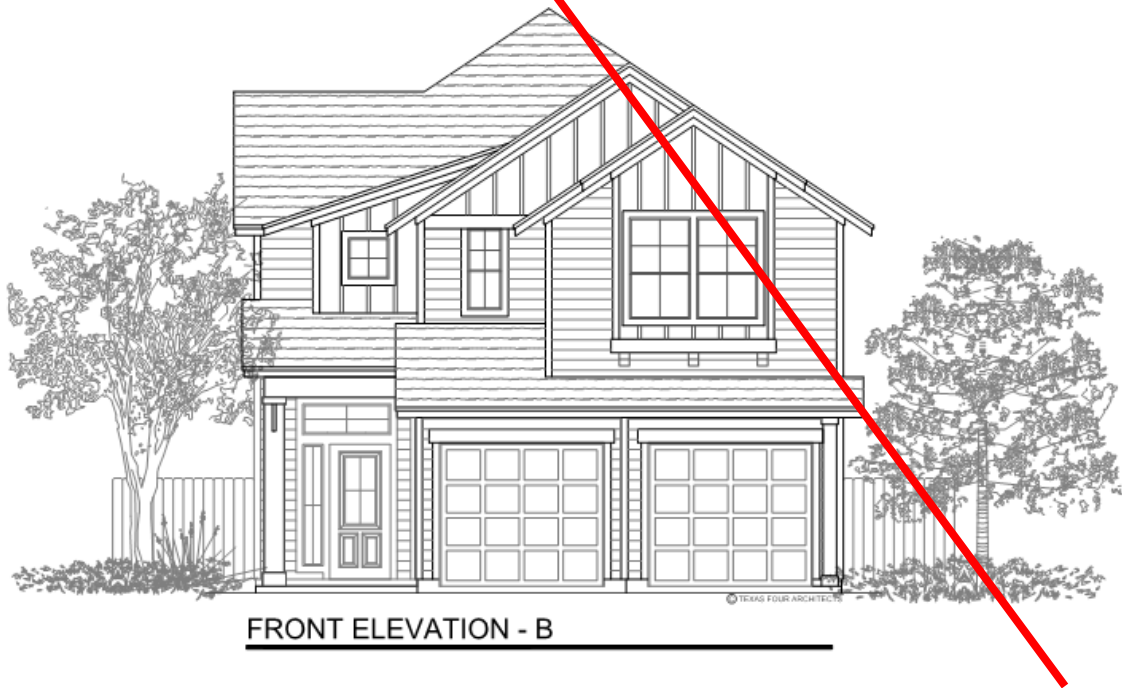
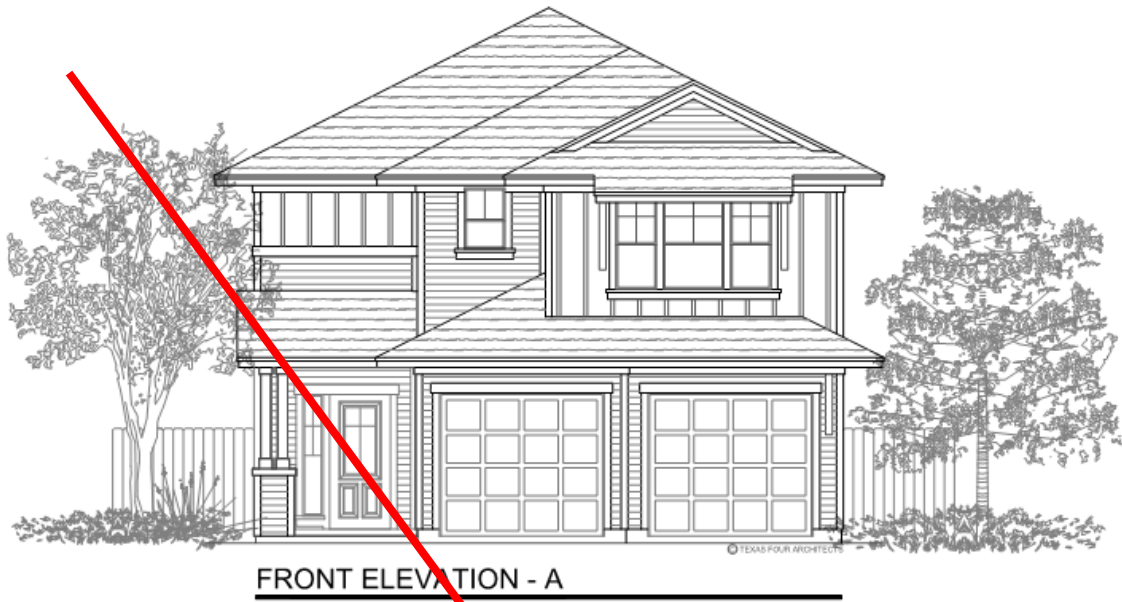


FIGURE #12
Example 40' Lot Elevation



FRONT ELEVATION - A



FRONT ELEVATION - B

**Notice of Pending Rezoning Approval
City of Bastrop
Planning & Zoning Commission And City Council**



Dear Property Owner:

The **Planning & Zoning Commission** will conduct a public hearing on **Thursday, June 25, 2020 at 6:00 p.m.** and the **City Council** will conduct a public hearing (first reading) **Tuesday, July 14, 2020 at 6:30 p.m.** in the **City Hall Council Chambers** located at **1311 Chestnut Street, Bastrop, Texas** on the request to approve or disapprove an ordinance for an amendment to Bastrop Grove Residential Planned Development District, with a residential base use, to adjust standards for residential development on 67.111 acres, out of the Nancy Blakey Survey, Abstract 98, located south of Agnes Street and east of State Highway 304, an area currently zoned Planned Development District, within the City Limits of Bastrop.

Applicant: BGE Inc./John Kim, P.E.
Owner: WayMaker Ventures/Holt Dunlop
Address: South of Agnes Street and east of State Highway 304
Legal Description: 67.11 acres out of the Nancy Blakey Survey, Abstract 98

The site location map is attached for reference.

As a property owner within 200 feet of the above referenced property, you are being notified of the upcoming meetings per the Bastrop Code of Ordinances Rezone Regulations. For more information on this project, you can contact the Planning & Development offices at (512) 332-8840, plan@cityofbastrop.org, or visit the office at 1311 Chestnut Street, Bastrop, Texas.

For additional information, please visit or call the Planning & Development offices.



PROPERTY OWNER'S RESPONSE

As a property owner within 200': (please check one)

- I am in favor of the request.
- I am opposed to the request.
- I have no objection to the request.

Property Owner Name: _____
Property Address: _____
Phone (optional): _____
Mailing Address: _____
Email (optional): _____
Property Owner's Signature: _____

Comments: (Optional)

Please provide reply to the address below, via fax (512) 332-8829, or email: plan@cityofbastrop.org

RE: RZNE_Bastrop Grove PDD Amendment

PLANNING & DEVELOPMENT



Development Review Committee

Formal Action – May 28, 2020

Project: Bastrop Grove Planned Development District Amendment

Members Present: **Trey Job, Assistant City Manager of Development Services**
Matt Lewis, Planning
Eric DeArmitt, Assistant Fire Chief
Tony Buonodono, City Engineer
Curtis Ervin, Bastrop Power and Light

DECISION

The Development Review Committee reviewed the above referenced project and will make a recommendation for denial to the Planning & Zoning Commission by a vote of 5 to 0.

BASIS OF DECISION

Unless otherwise noted, all references are from the Zoning Concept Scheme Checklist in the Development Manual adopted with Ordinance Number 2020-03.

Action Items:

1. The first comment from the last Action Form was intended to be for G.ii.1 regarding alleys instead of G.iii.1 regarding multifamily lots. Please update G.ii.1.
2. Remove Figure 1 from Appendix A. Update 1.7 Street Widths to remove all current text and replace with “Streets shall follow the adopted Street Type cross-sections from the B³ Code. Any modifications to the street cross sections needed to fit in existing rights-of-way must occur between back of curb and the property line.”

Informational Items:

3. The fire lane language was a minimum requirement if the cross sections were not used.
4. The B³ Code Street Type cross sections will be recommended to the Commission to consider approval.



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 8C

TITLE:

Consider action to approve the second reading of Ordinance No. 2020-20 of the City Council of the City of Bastrop, Texas, amending the budget for the Fiscal Year 2020 in accordance with existing statutory requirements; appropriating the various amounts herein as attached in Exhibit A; repealing all prior ordinances and actions in conflict herewith; and establishing an effective date.

STAFF REPRESENTATIVE:

Tracy Waldron, Chief Financial Officer

BACKGROUND/HISTORY:

The FY2020 budget was approved by City Council on September 24, 2019. Since that approval, situations have occurred that require the FY2020 to be amended.

The Exhibit A to the ordinance explains in detail the nature of each of the budget amendments being requested.

City Council approved on first reading at the July 14 meeting.

POLICY EXPLANATION:

The Financial Management Policy states that the level of budgetary control is at the department level in all Funds. If transfers are required between departments, this must be approved by Council.

The City Charter requires that when the budget is amended, that the amendment be made by Ordinance.

FUNDING SOURCE:

Various – See Ordinance Exhibit A

RECOMMENDATION:

Consider action to approve the second reading of Ordinance No. 2020-20 of the City Council of the City of Bastrop, Texas, amending the budget for the Fiscal Year 2020 in accordance with existing statutory requirements; appropriating the various amounts herein as attached in Exhibit A; repealing all prior ordinances and actions in conflict herewith; and establishing an effective date.

ATTACHMENTS:

- Ordinance 2020-20
- Exhibit A
- All Funds Summary FY2020 – updated to reflect proposed amendments

ORDINANCE NO. 2020-20

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS, AMENDING THE BUDGET FOR THE FISCAL YEAR 2020 IN ACCORDANCE WITH EXISTING STATUTORY REQUIREMENTS; APPROPRIATING THE VARIOUS AMOUNTS HEREIN, AS ATTACHED IN EXHIBIT A; REPEALING ALL PRIOR ORDINANCES AND ACTIONS IN CONFLICT HEREWITH; AND ESTABLISHING FOR AN EFFECTIVE DATE.

WHEREAS, the City Manager of the City of Bastrop, Texas has submitted to the Mayor and City Council proposed amendment(s) to the budget of the revenues and/or expenditures/expenses of conducting the affairs of said city and providing a complete financial plan for Fiscal Year 2020; and

WHEREAS, the Mayor and City Council have now provided for and conducted a public hearing on the budget as provided by law.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS THAT:

Section 1: That the proposed budget amendment(s) for the Fiscal Year 2020, as submitted to the City Council by the City Manager and which budget amendment(s) are attached hereto as Exhibit A, are hereby adopted and approved as the amended budget of said city for Fiscal Year 2020.

Section 2: If any provision of this ordinance or application thereof to any person or circumstance shall be held invalid, such invalidity shall not affect the other provisions, or application thereof, of this ordinance, which can be given effect without the invalid provision or application, and to this end, the provisions of this ordinance are hereby declared to be severable.

Section 3: This ordinance shall take effect upon the date of final passage noted below, or when all applicable publication requirements, if any, are satisfied in accordance with the City's Charter, Code of Ordinances, and the laws of the State of Texas.

READ and APPROVED on First Reading on the 14th day of July 2020.

READ and ADOPTED on Second Reading on the 28th day of July 2020.

APPROVED:

Connie B. Schroeder, Mayor

ATTEST:

Ann Franklin, City Secretary

APPROVED AS TO FORM:

Alan Bojorquez, City Attorney

EXHIBIT A

Budget Amendment #1: General Fund

The departure of the previous city manager on Jan. 28, 2020 created expenditures that were not originally budgeted. The professional services incurred to search for a new city manager and engage an interim city manager were additional costs. The contractual payout of the previous City Manager was covered through salary savings within the department (council liaison and part-time office assistant).

FY 2020 Budget Book (Page 121)

City Manager – Contractual Services

Original Budget	\$502,008
Expected Expenditure	<u>\$588,008</u>
Difference	\$ 86,000

The difference needs to be applied to the following accounts:

Professional Services (101-03-00-5505) **\$86,000**

Budget Amendment #2: General Fund

During the Main St. Improvement project, an issue regarding property ownership was uncovered and caused the need for a survey. The estimated cost for this survey is \$17,500 and is not currently budgeted.

The Financial Management Policy allows for the contingency account to be increased from salary savings. This amendment takes the salary savings net of the \$86,000 and \$17,500 and places it in the contingency account.

FY 2020 Budget Book (Page 117)

Organizational

Original Budget	\$523,736
Expected Expenditure	<u>\$692,736</u>
Difference	\$169,000

The difference needs to be applied to the following accounts:

Engineering Services (101-02-00-5530) **\$17,500**
Contingency (101-02-00-5900) **\$151,500**

EXHIBIT A

The differences reflected in budget amendments #1 and #2 will be addressed through the following:

Salary Savings from following departments due to vacancies:		
Finance	101-05-00-5101	\$25,000
Utility Customer Service	101-05-15-5101	\$15,000
Police-Administration	101-09-10-5101	\$30,000
Development Services-Planning	101-15-00-5101	\$45,000
Development Services-Building Inspection	101-15-18-5101	\$40,000
Public Works	101-18-15-5101	\$50,000
Parks	101-18-19-5101	\$50,000
Library	101-21-00-5101	
Total Salary Savings		<u>\$255,000</u>

Budget amendments #1 and #2 are only transfers between departments and has no effect on the General Funds fund balance.

Budget Amendment #3: General Fund

The city received funds from the Coronavirus Relief Fund CARES Act in the amount of \$101,321. The city will be utilizing these funds for eligible expenditures during this fiscal year and needs the expenditure budget increase by this amount.

FY 2020 Budget Book (Page 149)

Emergency Management - Supplies & Materials

Original Budget	\$ 61,620
Expected Expenditure	<u>\$162,941</u>
Difference	\$101,321

The difference needs to be applied to the following accounts:

Incident supplies - Emergency Event (101-09-14-5202)	\$101,321
--	------------------

The difference will be addressed through the following increased revenue:

Emergency Management Assistance (101-00-00-4410)	\$101,321
--	------------------

This amendment has no effect on the General Funds fund balance.

Budget Amendment #4: Innovation Fund

This amendment includes two items to consider.

The city requested funding from the Bastrop Economic Development Corporation (BEDC) for park improvements to include a new fence and gate at Delgado Park. This funding request was

EXHIBIT A

approved by the EDC board on Nov. 18, 2019. This project is now complete, and the city will be requesting a reimbursement. This budget amendment increases the revenue and expense accounts reflect no change to the ending fund balance.

The Downtown River Loop project is considered an EDC project, but the grant funding was awarded to the City. The decision was made to run the project through the City's financial records with the EDC reimbursing the portion they had budgeted to fund. The first expense incurred was for the Advance Funding Agreement with the Texas Department of Transportation. This budget amendment increases the revenue and expense accounts reflect no change to the ending fund balance.

FY 2020 Budget Book (Page 208)

Revenue - Other Sources

Original Budget	\$ 77,000
Expected Revenue	<u>\$137,137</u>
Difference	\$ 60,137

The difference needs to be applied to the following accounts:

EDC Special Project Funding (105-00-00-4493)	\$60,137
--	-----------------

Expenditures - Capital Outlay

Original Budget	\$ 976,059
Expected Expenditure	<u>\$1,036,196</u>
Difference	\$ 60,137

The difference needs to be applied to the following accounts:

Park Equipment (105-00-00-6013)	\$39,200
Downtown River Loop (105-00-00-6713)	\$20,937

ALL FUND SUMMARY - FY 2020

	GENERAL FUND	STREET MAINTENANCE FUND	DEBT SERVICE FUNDS	HOTEL TAX FUND	SPECIAL REVENUE FUNDS	WATER/WASTEWATER FUNDS	BP&L FUND	CAPITAL IMPROVEMENT FUNDS	INTERNAL SERVICE FUND	ECONOMIC DEVELOPMENT CORP	TOTAL ALL FUNDS
BEGINNING FUND BALANCES	\$ 2,643,264	\$ 1,037,357	\$ 254,780	\$ 3,797,361	\$ 2,758,164	\$ 5,421,836	\$ 3,590,969	\$ 6,464,330	\$ 2,384,291	\$ 4,070,298	\$ 32,422,650
REVENUES:											
AD VALOREM TAXES	3,850,795		2,006,862		-	-	-	-			5,857,657
SALES TAXES	5,084,400				-	-	-	-		2,560,000	7,644,400
FRANCHISE & OTHER TAXES	467,830			2,830,500	23,250	-	-	-			3,321,580
LICENSES & PERMITS	819,032			2,000	-	-	-	-			821,032
SERVICE FEES	673,100			275,250	3,476,024	6,163,064	7,037,682	-	371,192	13,800	18,010,112
FINES & FORFEITURES	349,585				12,650	-	-	-			362,235
INTEREST	65,000	10,000	20,000	65,000	44,050	117,000	72,000	110,144	15,500	80,000	598,694
INTERGOVERNMENTAL	191,199		246,548	62,312	2,863,125	-	-	60,137			3,423,321
OTHER	66,400			-	31,910	9,759	16,880	3,265,000		1,560,000	4,949,949
TOTAL REVENUES	11,567,341	10,000	2,273,410	3,235,062	6,451,009	6,289,823	7,126,562	3,435,281	386,692	4,213,800	44,988,980
OTHER SOURCES											
Other Financing Sources	-							30,000			30,000
Interfund Transfers	570,750	238,000	514,416	473,394	4,700	4,895,885	-	22,500	75,000		6,794,645
TOTAL REVENUE & OTHER SOURCES	12,138,091	248,000	2,787,826	3,708,456	6,455,709	11,185,708	7,126,562	3,487,781	461,692	4,213,800	51,813,625
TOTAL AVAILABLE RESOURCES	\$ 14,781,355	\$ 1,285,357	\$ 3,042,606	\$ 7,505,817	\$ 9,213,873	\$ 16,607,544	\$ 10,717,531	\$ 9,952,111	\$ 2,845,983	\$ 8,284,098	\$ 84,236,275
EXPENDITURES:											
GENERAL GOVERNMENT	4,720,331				3,268,125	-	-	264,000			8,252,456
PUBLIC SAFETY	4,581,708				20,950	-	-	-			4,602,658
DEVELOPMENT SERVICES	999,324				-	-	-	100,000			1,099,324
COMMUNITY SERVICES	1,597,736			354,150	305,327	-	-	-			2,257,213
UTILITIES					165,000	3,847,210	6,054,651	-			10,066,861
DEBT SERVICE			2,790,559		-	1,870,887	159,847	143,668		485,453	5,450,414
ECONOMIC DEVELOPMENT				3,339,899	-	-	-	-		2,066,445	5,406,344
CAPITAL OUTLAY		1,285,345			3,270,821	4,614,323	615,000	9,275,722	356,500	2,692,000	22,109,711
TOTAL EXPENDITURES	11,899,099	1,285,345	2,790,559	3,694,049	7,030,223	10,332,420	6,829,498	9,783,390	356,500	5,243,898	59,244,981
OTHER USES											
Interfund Transfers	238,992	-	-	521,916	575,395	4,335,693	884,650	154,000	-		6,710,645
TOTAL EXPENDITURE & OTHER USES	12,138,091	1,285,345	2,790,559	4,215,965	7,605,618	14,668,113	7,714,148	9,937,390	356,500	5,243,898	65,955,626
ENDING FUND BALANCES	\$ 2,643,264	\$ 12	\$ 252,047	\$ 3,289,852	\$ 1,608,255	\$ 1,939,431	\$ 3,003,383	\$ 14,721	\$ 2,489,483	\$ 3,040,200	\$ 18,280,649

Revised 7/2/2020



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 9A

TITLE:

Consider and adopt on first and final reading Ordinance No. 2020-22 as an emergency measure ratifying temporary Emergency Orders enacted by the Mayor in her capacity as Emergency Management Director in regards to the current Local State of Disaster, for the immediate preservation of the public peace, health or safety.

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager

BACKGROUND/HISTORY

A declaration of local disaster and public health emergency includes the ability to take measures to reduce the possibility of exposure to disease, control the risk, prevent the spread of the disease, and promote the health and safety of individuals in the City of Bastrop; and

POLICY EXPLANATION:

On March 16, 2020 the City Council Confirmed a Declaration of Disaster due to the novel coronavirus (COVID-19). Within that declaration the mayor is granted the authority to take extraordinary measures to protect the health and safety of the citizens of Bastrop.

FUNDING SOURCE:

N/A

RECOMMENDATION:

Consider and adopt on first and final reading Ordinance No. 2020-22 as an emergency measure ratifying temporary Emergency Orders enacted by the Mayor in her capacity as Emergency Management Director in regards to the current Local State of Disaster, for the immediate preservation of the public peace, health or safety.

ATTACHMENTS:

- Ordinance No. 2020-22
- Emergency order of the Mayor

EMERGENCY ORDINANCE 2020-22

AN EMERGENCY ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS, CONFIRMING AND RATIFYING THE EMERGENCY ORDERS ISSUED BY THE MAYOR AS THE EMERGENCY MANAGEMENT DIRECTOR, AS DESCRIBED IN EXHIBIT A; PROVIDING FOR FINDINGS OF FACT, REPEALER, SEVERABILITY, ENFORCEMENT, AND PENALTY; ESTABLISHING AN EFFECTIVE DATE; AND PROPER NOTICE AND MEETING.

WHEREAS, the novel coronavirus (COVID-19) has been recognized globally as a contagious respiratory virus; and

WHEREAS, on March 13, 2020, Texas Governor Greg Abbott declared a State of Disaster for all counties in Texas, and the President of the United States of America declared a national emergency in relation to COVID-19; and

WHEREAS, on March 16, 2020, the Mayor issued a Declaration of Local Disaster to allow the City of Bastrop to take measures to reduce the possibility of exposure to COVID-19 and promote the health and safety of Bastrop residents; and

WHEREAS, Section 418.108 of the Texas Government Code provides that a declaration of local disaster activates the City's Emergency Management Plan; and

WHEREAS, in furtherance of the declaration of local disaster, the Mayor issued certain orders pursuant to Chapter 418 of the Texas Government Code; and

WHEREAS, Section 3.15(b) of the Bastrop City Charter allows the City Council to adopt an emergency ordinance relating to the immediate preservation of the public peace, health or safety, and such emergency ordinances shall take effect immediately upon adoption and execution without a second consideration; and

WHEREAS, Section 54.001 of the Texas Local Government Code generally provides the maximum penalties for violations of municipal ordinances, rules, or police regulations; and

WHEREAS, Section 418.173 of the Texas Government Code provides that a local emergency management plan may provide that failure to comply with the plan or with a rule, order, or ordinance adopted under the plan is an offense punishable by a fine not to exceed \$1,000 or confinement in jail for a term not to exceed 180 days; and

WHEREAS, the City Council of the City of Bastrop, Texas, finds it reasonable and necessary for the protection of the health and safety of the residents of the City of Bastrop to confirm and ratify the orders issued by the Mayor pursuant to Chapter 418 of the Texas Government Code, as described in **Exhibit A**; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS THAT:

SECTION 1. FINDINGS OF FACT: The foregoing recitals are incorporated into this Emergency Ordinance by reference as findings of fact as if expressly set forth herein.

SECTION 2. CONFIRMATION & RATIFICATION: The City Council of the City of Bastrop, Texas, in accordance with the authority vested in the governing body of the City of Bastrop, Texas, by Section 418.108 of the Texas Government Code, hereby confirms and ratifies the emergency orders issued by the Mayor in furtherance of the declaration of local disaster, as described in **Exhibit A**.

SECTION 3. PUBLIC NOTICE: The City Secretary is hereby directed to give prompt and general publicity to this Emergency Ordinance.

SECTION 4. CONFLICTS: In the case of any conflict between other provisions of this Emergency Ordinance and any existing Ordinance of the City, the provisions of this Emergency Ordinance will control.

SECTION 5. SEVERABILITY: If any provision of this Emergency Ordinance or the application thereof to any person or circumstance is held invalid, that invalidity or the unenforceability will not affect any other provisions or applications of this Emergency Ordinance that can be given effect without the invalid provision.

SECTION 6. ENFORCEMENT: The City shall have the power to administer and enforce the provisions of this Emergency Ordinance as may be required by governing law. Any person violating any provision of this Emergency Ordinance violates Section 1.08.011 of the Bastrop City Code. In accordance with Section 418.173 of the Texas Government Code, a violation is a misdemeanor punishable by a fine not to exceed \$1,000 or confinement in jail for a term not to exceed 180 days. Nothing in this ordinance shall be construed as a waiver of the City's right to bring a civil action to enforce the provisions of this ordinance and to seek remedies as allowed by law and/or equity.

SECTION 7. EFFECTIVE DATE: In accordance with Section 3.15(b) of the Bastrop City Charter, this Emergency Ordinance shall be *effective immediately* upon passage.

SECTION 8. OPEN MEETING: It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551.

READ, ACKNOWLEDGED & APPROVED on the First & Final Reading on this, the 28th day of July 2020.

APPROVED:

Connie B. Schroeder, Mayor

ATTEST:

Ann Franklin, City Secretary

APPROVED AS TO FORM:

Alan Bojorquez, City Attorney

Exhibit A



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 9B

TITLE:

Hold public hearing and consider action to approve the first reading of Ordinance No. 2020-21 of the City of Bastrop, Texas updating and amending Bastrop Code of Ordinances, Chapter 13, Article 13.12, entitled "Impact Fees", updating the land use assumptions, capital improvement plan and amending impact fees for water and wastewater utilities, as attached in Exhibits A-E; providing for findings of fact, enactment, enforcement, a repealer, and severability; establishing an effective date; proper notice and meeting; and move to include on the August 11, 2020 Consent agenda for a second reading.

STAFF REPRESENTATIVE:

Tracy Waldron, Chief Financial Officer

BACKGROUND/HISTORY:

The last Impact Fee study was adopted on August 27, 2019. Due to the nature of the capital projections in the Water and Wastewater utility, an annual update of the impact fees is necessary to make sure that we are passing on to the developers their share of the capacity in these new facilities. The major change from the 2019 report to this updated report is the estimate of probable cost for the water treatment plant that will be built at the XS Ranch location. After contracting with Freese & Nichols to design a water plant, the costs have increased significantly from the original estimate received in 2018. These increases relate to additional wells and transmission lines.

City staff will continue to update the impact fees annual until the cost of these large projects are solidified and under contract.

As required by Chapter 395 of the Local Government Code, the Impact Fee Study was presented to the Impact Fee Advisory Committee at a meeting held June 25, 2020. This board voted unanimously to recommend approval of the amended Impact Fees as presented.

POLICY EXPLANATION:

Texas Local Government Code chapter 395.052 requires a political subdivision imposing an impact fee to update the land use assumptions and capital improvements plan at least every five years. The initial five-year period begins on the day the capital improvements plan is adopted.

RECOMMENDATION:

Hold public hearing and consider action to approve the first reading of Ordinance No. 2020-21 of the City of Bastrop, Texas updating and amending Bastrop Code of Ordinances, Chapter 13, Article 13.12, entitled "Impact Fees", updating the land use assumptions, capital improvement plan and amending impact fees for water and wastewater utilities, as attached in Exhibits A-E; providing for findings of fact, enactment, enforcement, a repealer, and severability; establishing an effective date; proper notice and meeting; and move to include on the August 11, 2020 Consent agenda for a second reading.

ATTACHMENTS:

- Ordinance 2020-21 (Including Exhibit A-E)
- Minutes from Impact Fee Advisory Board June 25, 2020 meeting



ORDINANCE NO. 2020-21

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS UPDATING AND AMENDING THE BASTROP CODE OF ORDINANCES, CHAPTER 13, ARTICLE 13.12, ENTITLED "IMPACT FEES", UPDATING THE LAND USE ASSUMPTIONS, CAPITAL IMPROVEMENT PLAN AND AMENDING IMPACT FEES FOR WATER AND WASTEWATER UTILITIES, AS ATTACHED IN EXHIBITS A-E, AND PROVIDING FOR FINDINGS OF FACT, ENACTMENT, ENFORCEMENT, A REPEALER, AND SEVERABILITY; ESTABLISHING AN EFFECTIVE DATE; AND PROPER NOTICE AND MEETING.

WHEREAS, new residential and nonresidential development causes and imposes increased demands upon Bastrop public facilities and services, including water and wastewater facilities, that would not otherwise occur; and

WHEREAS, planning projections indicate that such development will continue and will place ever-increasing demands on the City to provide necessary public facilities; and

WHEREAS, the development potential and value of properties is strongly influenced and encouraged by City policy as expressed in the City's 2036 Comprehensive Plan and as implemented via the City zoning ordinance and map; and

WHEREAS, to the extent that such new development places demand upon the public facility infrastructure, those demands should be satisfied by more equitably assigning responsibility for financing the provision of such facilities from the public at large to the developments actually creating the demands for them; and

WHEREAS, the amount of the impact fee to be imposed shall be determined by the cost of the additional public facilities needed to support such development, which public facilities shall be identified in a capital improvements program; and

WHEREAS, the City Council, after careful consideration of the matter, hereby finds and declares that impact fees imposed upon residential and nonresidential development to finance specified major public facilities, the demand for which is created by such development, is in the best interests of the general welfare of the City and its residents, is equitable, and does not impose an unfair burden on such development;

WHEREAS, in 1987 the Texas Legislature adopted Senate Bill 336, now Chapter 395 of the Texas Local Government Code, and subsequently amended said Chapter from time to time; and

WHEREAS, the City Council finds that in all things the City has complied with said statute in the notice, adoption, promulgation and methodology necessary to adopt Impact Fees;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS:

SECTION 1. FINDINGS OF FACT The foregoing recitals are incorporated into this Ordinance by reference as findings of fact as if expressly set forth herein.

SECTION 2. ENACTMENT Article 13.12, "Impact Fees", of Chapter 13, "Utilities," of the Code of Ordinances of the City of Bastrop are amended to read as described and attached hereto as Exhibit "A."

SECTION 3. REPEALER In the case of any conflict between other provisions of this Ordinance and any existing Ordinance of the City, the provisions of this Ordinance will control.

SECTION 4. SEVERABILITY If any provision of this Ordinance or the application thereof to any person or circumstance is held invalid, that invalidity or the unenforceability will not affect any other provisions or applications of this Ordinance that can be given effect without the invalid provision.

SECTION 5. ENFORCEMENT The City shall have the power to administer and enforce the provisions of this ordinance as may be required by governing law. Any person violating any provision of this ordinance is subject to suit for injunctive relief as well as prosecution for criminal violations, and such violation is hereby declared to be a nuisance.

Nothing in this ordinance shall be construed as a waiver of the City's right to bring a civil action to enforce the provisions of this ordinance and to seek remedies as allowed by law and/or equity.

SECTION 6. EFFECTIVE DATE This Ordinance shall be effective immediately upon passage and publication.

SECTION 7. OPEN MEETINGS It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551.

READ & ACKNOWLEDGED on First Reading on the 28th day of July 2020.

READ & APPROVED on the Second Reading on the 11th day of August 2020.

APPROVED:

Connie B. Schroeder, Mayor

ATTEST:

Ann Franklin, City Secretary

APPROVED AS TO FORM:

Alan Bojorquez, City Attorney

Exhibit A

City of Bastrop Code of Ordinances

Chapter 13 – UTILITIES

Article 13.12 – Impact Fees

DIVISION 1. - GENERALLY

Sec. 13.12.001 - Short Title.

No changes.

Sec. 13.12.002 - Intent.

No changes.

Sec. 13.12.003 - Authority.

No changes.

Sec. 13.12.004 - Definitions.

No changes.

Sec. 13.12.005 - Applicability.

No changes.

Sec. 13.12.006 - Impact Fees as Conditions of Development Approval.

No changes.

Sec. 13.12.007 - Establishment of Water and Wastewater Service Areas.

The service areas shall be established consistent with any facility service area established in the CIP for each utility. Additions to the service area may be designated by the City Council consistent with the procedure set forth in V.T.C.A. Local Government Code, ch. 395.

Sec. 13.12.008 - Land Use Assumptions.

Land use assumptions used in the development of the impact fees are contained in Exhibit B to Ordinance -2020-21. These assumptions may be revised by the City Council according to the procedure set forth in V.T.C.A. Local Government Code, Chapter 395 and its successors.

Sec. 13.12.009 - Service Units.

No changes.

Sec. 13.12.010 - Impact Fees Per Service Unit.

(a) The maximum impact fee per service unit for each service area shall be computed by dividing the growth-related capital construction cost of service in the service area identified in the capital improvements plan for that category of capital improvements, by the total number of projected service units anticipated within the service area which are necessitated by and attributable to new development, based on the land use assumptions for that service area, and adjusted by subtracting credits in the form of future rate or tax contributions to water and/or wastewater CIP funding and adding any additional amount as may be yielded in the inflation-escalator portion of the fee assessment formula set forth in Sec. 13.12.011. Maximum impact fees per service unit for each service area shall be established by category of capital improvements and shall be set forth in Exhibit C to Ordinance2020-21.

(b) Exhibit C to Ordinance 2020-21 may be amended by the City Council according to the procedure set forth in Chapter 395 of the Texas Local Government Code and its successors.

(c) The effective impact fees per service unit may be amended from time to time by the City Council through ordinance amendment to any amount less than that set forth in Exhibit C to Ordinance2020-21.

Sec. 13.12.011 - Assessment.

(a) *No changes.*

(b) Assessment of the impact fee for any new development shall be made as follows:

(1) *No changes.*

(2) For new development, which has received final plat approval prior to the effective date of this article and for which no re-platting is necessary prior to the issuance of a building permit, assessment shall be upon the issuance of a building permit, and shall be the value of the effective impact fee per service unit set forth in Exhibit C to Ordinance2020-21.

(3) For new development, which occurs or is proposed to occur without platting, assessment shall be upon the issuance of a building permit and shall be the value of the effective impact fee per service unit set forth in Exhibit C to Ordinance2020-21.

(4) *No changes.*

(5) *No changes.*

(c) *No changes.*

(d) *No changes.*

Sec. 13.12.012 - Calculation of Impact Fees.

No changes

Sec. 13.12.013 - Collection of Impact Fees.

No changes.

Sec. 13.12.014 - Offsets Against Impact Fees.

No changes.

Sec. 13.12.015 - Establishment of Accounts and Records.

No changes.

Sec. 13.12.016 - Use of Proceeds of Impact Fee Accounts.

No changes.

Sec. 13.12.017 – Appeals.

No changes.

Sec. 13.12.018 – Refunds.

No changes.

Sec. 13.12.019 - Updates to Plan and Revision of Fees.

No changes.

Sec. 13.12.020 - Functions of Advisory Committee.

No Changes.

Sec. 13.12.021 - Agreement for Capital Improvements.

No changes.

Sec. 13.12.022 - Use of Other Financing Mechanisms.

No changes.

Sec. 13.12.023 - Impact Fees as Additional and Supplemental Regulation.

No changes.

Sec. 13.12.024 - Relief Procedures.

No changes.

Sec. 13.12.025 - Exemptions.

No changes.

Sec. 13.12.026 - Certification of Compliance Required.

No changes.

Secs. 13.12.027 – 13.12.060 Reserved.

DIVISION 2. – WATER FACILITIES

Sec. 13.12.061 - Service Area.

No changes.

Sec. 13.12.062 - Improvements Plan.

(a) The Water Improvements Plan for the City is hereby adopted as Exhibit D to Ordinance 2020-21 and incorporated by reference herein.

(b) *No changes.*

Sec. 13.12.063 - Impact Fees.

(a) The maximum impact fee values per service unit for water facilities are hereby adopted and incorporated in Exhibit C to Ordinance 2020-21 and made a part hereof by reference.

(b) *No changes.*

Secs. 13.12.064-13.12.090 – Reserved.

DIVISION 3. - WASTEWATER FACILITIES

Sec. 13.12.091 - Service Area.

No changes.

Sec. 13.12.092 - Improvements Plan.

(a) The Wastewater Improvements Plan for the City is hereby adopted as Exhibit E to Ordinance 2020-21 hereto and incorporated by reference herein.

(b) *No changes.*

Sec. 13.12.093 - Impact Fees.

(a) The maximum impact fee values per service unit for wastewater facilities are hereby adopted and incorporated in Exhibit C to Ordinance 2020-21 and made a part hereof by reference.

(b) *No changes.*

Exhibit B
Future Land Use Assumptions

Future Land Use Assumptions (Acres Developed)

Land Use (Acres)	<u>2020</u>	<u>2030</u>	<u>Build Out</u>
Single Family Residential	1,974	2,609	3,616
Retail / Office	112	148	211
Commercial	1,374	1,790	2,274
Industrial	202	276	459
Parks and Open Space and Agriculture	748	748	748
Total Developed Acreage	4,410	5,571	7,308

Future Land Use Assumptions (Service Unit Equivalents and Population)

	<u>2020</u>	<u>2030</u>	<u>2055</u>
Population	11,697	15,030	17,700
Water Service Population	7,999	10,750	22,508
Sewer Service Population	7,832	10,525	22,037
Water SUEs	6,106	8,206	17,181
Sewer SUEs	5,584	7,505	15,714

Exhibit C
Maximum and Effective Impact Fee

Meter Type	Meter Size	Multiplier	Maximum Impact Fee			Effective Impact Fee		
			Water	Sewer	Both	Water	Sewer	Both
Simple	5/8" x 3/4"	1.0	\$ 4,109.00	\$ 6,173.00	\$ 10,282.00	\$ 4,109.00	\$ 6,173.00	\$ 10,282.00
Simple	3/4"	1.0	4,109.00	6,173.00	10,282.00	4,109.00	6,173.00	10,282.00
Simple	1"	2.5	10,272.50	15,432.50	25,705.00	10,272.50	15,432.50	25,705.00
Simple	1 1/2"	5.0	20,545.00	30,865.00	51,410.00	20,545.00	30,865.00	51,410.00
Simple	2"	8.0	32,872.00	49,384.00	82,256.00	32,872.00	49,384.00	82,256.00
Compound	2"	8.0	32,872.00	49,384.00	82,256.00	32,872.00	49,384.00	82,256.00
Turbine	2"	10.0	41,090.00	61,730.00	102,820.00	41,090.00	61,730.00	102,820.00
Compound	3"	16.0	65,744.00	98,768.00	164,512.00	65,744.00	98,768.00	164,512.00
Turbine	3"	24.0	98,616.00	148,152.00	246,768.00	98,616.00	148,152.00	246,768.00
Compound	4"	25.0	102,725.00	154,325.00	257,050.00	102,725.00	154,325.00	257,050.00
Turbine	4"	42.0	172,578.00	259,266.00	431,844.00	172,578.00	259,266.00	431,844.00
Compound	6"	50.0	205,450.00	308,650.00	514,100.00	205,450.00	308,650.00	514,100.00
Turbine	6"	92.0	378,028.00	567,916.00	945,944.00	378,028.00	567,916.00	945,944.00
Compound	8"	80.0	328,720.00	493,840.00	822,560.00	328,720.00	493,840.00	822,560.00
Turbine	8"	160.0	657,440.00	987,680.00	1,645,120.00	657,440.00	987,680.00	1,645,120.00
Compound	10"	115.0	472,535.00	709,895.00	1,182,430.00	472,535.00	709,895.00	1,182,430.00
Turbine	10"	250.0	1,027,250.00	1,543,250.00	2,570,500.00	1,027,250.00	1,543,250.00	2,570,500.00
Turbine	12"	330.0	1,355,970.00	2,037,090.00	3,393,060.00	1,355,970.00	2,037,090.00	3,393,060.00

Exhibit D
Water Capital Improvements Plan

<u>Facility Type</u>	<u>Impact Fee Project Name</u>	<u>Total Construction Cost</u>	<u>Capacity</u>	<u>2020-2030 Demand</u>	<u>Recoverable Cost</u>
Water Supply	Willow Street Plant (Wells C-G)	\$ 781,865	3,319,200	9.66%	\$ 75,528
Water Supply	Bob Bryan Park Site Phase I (Wells H and I)	424,853	1,224,000	9.66%	41,041
Water Supply	Bob Bryan Park Side Phase 2	1,462,720	1,152,000	9.66%	141,299
Water Supply	Initial Water Supply XS Ranch	2,000,000	2,677,808	9.66%	193,200
Water Supply	Well J & Monitoring Well	1,449,450	2,160,000	9.66%	140,017
Water Supply	Water Plant (XS Ranch)	11,751,624	3,600,000	9.66%	1,135,207
Water Supply	Add'l Wtr Supply (16" River Crossing Wtr Line)	1,000,000	1,058,400	9.66%	96,600
Water Supply	XS Ranch groundwater well construction (3 add'l wells)	6,732,876	3,600,000	9.66%	650,396
Water Pumping	Willow High Service 1	9,962	720,000	20.86%	2,078
Water Pumping	Willow High Service 2	9,962	720,000	20.86%	2,078
Water Pumping	Willow High Service 3	9,962	720,000	20.86%	2,078
Water Pumping	Willow High Service 4	19,638	768,000	20.86%	4,096
Water Pumping	Willow High Service 5	19,638	768,000	20.86%	4,096
Water Pumping	Willow High Service 6	19,638	768,000	20.86%	4,096
Water Pumping	Bob Bryant High Service 1	74,815	1,344,000	20.86%	15,606
Water Pumping	Bob Bryant High Service 2	74,815	1,344,000	20.86%	15,606
Water Pumping	Bob Bryant Transfer Pump 1	20,000	384,000	20.86%	4,172
Water Pumping	Bob Bryant Transfer Pump 2	20,000	384,000	20.86%	4,172
Water Pumping	Loop 150 Tank Yard Pump 1	4,862	384,000	20.86%	1,014
Water Pumping	Loop 150 Tank Yard Pump 2	4,862	384,000	20.86%	1,014
Water Pumping	XS Ranch Transmission Pump Station	4,023,552	11,282	20.86%	839,313
Ground Storage	Bob Bryant (Tank 4)	263,080	285,000	13.33%	35,069
Ground Storage	GST Re-Use at WWTP	128,762	40,000	13.33%	17,164
Ground Storage	Tank 1 at Willow Street	350,000	500,000	13.33%	46,655
Ground Storage	Tank 2 at Willow Street	350,000	500,000	13.33%	46,655
Ground Storage	Hwy 20 (along with Elev Tank)	1,142,100	250,000	13.33%	152,242
Elevated Storage	Est at Loop 150	375,000	250,000	12.17%	45,638
Elevated Storage	Standpipe at Loop 150	700,000	1,000,000	12.17%	85,190
Elevated Storage	GST at Loop 150	140,000	225,000	12.17%	17,038
Elevated Storage	Elevated tower west at Hwy 20 (supply)	1,490,800	250,000	12.17%	181,430
Transmission Lines	8-inch line on Old Austin Hwy	146,590	1,000	45.50%	66,698
Transmission Lines	12-inch line on Perkins/Higgins	96,491	1,000	45.50%	43,903
Transmission Lines	12-inch line on Eskew/Loop 150	48,904	1,000	45.50%	22,251
Transmission Lines	Hunters Crossing Blvd (16-inch)	100,160	1,200	45.50%	45,573
Transmission Lines	Downtown Feeder (8-inch)	148,500	450	45.50%	67,568
Transmission Lines	Willow/Wilson Connection (6-inch)	-	250	45.50%	-
Transmission Lines	Loop 150 Standpipe Feeder (10, 12 inch)	1,058,750	1,000	45.50%	481,731
Transmission Lines	SH 95 North (12-inch)	437,600	1,000	45.50%	199,108
Transmission Lines	Hoffman Road (8-inch)	77,000	450	45.50%	35,035
Transmission Lines	Loop 150 West Feeder (12-inch)	438,510	1,000	45.50%	199,522
Transmission Lines	Eskew St. (12-inch)	102,900	2,600	45.50%	46,820
Transmission Lines	Higgins St. (12-inch)	73,500	2,600	45.50%	33,443
Transmission Lines	SH 71 (North Line) (12-inch)	280,000	1,000	45.50%	127,400
Transmission Lines	SH 71 (South Line) (12-inch)	444,500	1,000	45.50%	202,248
Transmission Lines	Hasler Blvd (12-inch)	119,000	1,000	45.50%	54,145
Transmission Lines	Agnes Street (12-inch)	41,300	1,000	45.50%	18,792
Transmission Lines	Old Austin Hwy (8,12 inch)	647,700	1,000	45.50%	294,704
Transmission Lines	SH 71 (West Line) (12-inch)	13,050	1,000	45.50%	5,938
Transmission Lines	Hunters Point Drive (12, 16-inch)	57,750	1,200	45.50%	26,276
Transmission Lines	Elevated Tank Feeder (12, 16-inch)	852,500	1,200	45.50%	387,888
Transmission Lines	Hasler Shores Feeder (8 inch)	166,000	450	45.50%	75,530
Transmission Lines	SH 71 East / Buc-ee's (12-inch)	-	1,000	45.50%	-
Transmission Lines	Ground Storage Tank Feeder (12-inch)	375,900	1,000	45.50%	171,035
Transmission Lines	Bob Bryant Feeder (12-inch)	66,750	1,000	45.50%	30,371
Transmission Lines	Blair Avenue (12-inch)	19,500	1,000	45.50%	8,873
Transmission Lines	Phase II Infrastructure for Well & Transmission	5,800,000	2,500	45.50%	2,639,000

Exhibit D
Water Capital Improvements Plan

<u>Facility Type</u>	<u>Impact Fee Project Name</u>	<u>Total</u>		<u>2020-2030</u>	<u>Recoverable</u>
		<u>Construction</u>	<u>Capacity</u>		
Transmission Lines	16" watermain crossing under river	2,235,000	1,500	45.50%	1,016,925
Transmission Lines	Watermain Replacement Pine Street Size In...	250,000	100	45.50%	113,750
Transmission Lines	Riverwood Waterline Improvements (Size Ir...)	1,000,000	250	45.50%	455,000
Transmission Lines	Water Main ext. Arena Dr. to Pitt	350,000	250	45.50%	159,250
Transmission Lines	Water Main Ext. SH304 to WWTP 3	800,000	250	45.50%	364,000
Transmission Lines	18" line from XS Ranch Water Plant to Willow Plant	9,161,232	9,333	45.50%	4,168,361
	Water Impact Fee Update	9,250		100%	9,250
	Total	\$ 60,273,173	30,831,273		\$ 15,570,174

Exhibit E
Wastewater Capital Improvements Plan

<u>Facility Type</u>	<u>Impact Fee Project Name</u>	<u>Total Construction Cost</u>	<u>Capacity</u>	<u>2020-2030 Demand</u>	<u>Recoverable Cost</u>
WW Treatment	WWTP No. 1 & 2 Replaced headworks	\$ 451,274	1,400,000	17.36%	\$ 78,341
WW Treatment	2 MGD WWTP #3 Construction / Design	24,906,958	2,000,000	17.36%	4,323,848
WW Pumping	Home Depot LS	70,000	115,200	22.40%	15,680
WW Pumping	Riverside Grove LS	69,500	662,400	22.40%	15,568
WW Pumping	Old Austin LS	52,000	180,000	22.40%	11,648
WW Pumping	Central LS	255,730	1,339,200	22.40%	57,284
WW Pumping	Hunters Crossing LS	100,000	751,680	22.40%	22,400
WW Pumping	River LS	100,000	648,000	22.40%	22,400
WW Pumping	North Pecan LS	66,500	475,200	22.40%	14,896
WW Pumping	Lincoln LS	50,000	48,960	22.40%	11,200
WW Pumping	Wilson LS 1	15,000	72,000	22.40%	3,360
WW Pumping	Wilson LS 2	15,000	72,000	22.40%	3,360
WW Pumping	Fisherman Park LS	225,930	329,000	22.40%	50,608
WW Pumping	Main Street LS	100,000	648,000	22.40%	22,400
WW Pumping	Mauna LOA SL	284,000	432,000	22.40%	63,616
WW Pumping	WWTP	50,000	1,080,000	22.40%	11,200
WW Pumping	Gills Branch LS	250,000	648,000	22.40%	56,000
WW Pumping	Lift Station Emergency Generators	-	-	22.40%	-
Major Collection Lines	WW Main ext. Hwy 71 City Limits to Home Depot	800,000	1,650	100.00%	800,000
Major Collection Lines	12" Force Main and Central Lift Station	208,000	3,500	100.00%	208,000
Major Collection Lines	Westside Collection System Gravity Sewer Improvements	8,150,866	23,564	100.00%	8,150,866
Major Collection Lines	WWTP No. 1 & No. 2 Transfer Pipeline	6,440,387	5,600	100.00%	6,440,387
Major Collection Lines	Sewer Line replacement (Main St. & Maple, Mesquite, Magnolia, Locust)	150,000	400	100.00%	150,000
	Wastewater Impact Fee Update	9,250		100.00%	9,250
	Total	\$ 42,820,395	10,936,354		\$ 20,542,312

Impact Fee Advisory Committee

June 25, 2020

Meeting Minutes

The City of Bastrop Impact Fee Advisory Committee met Thursday, June 25, 2020 at 6:35 p.m. online.

1. CALL TO ORDER

Debbie Moore called the meeting to order at 6:35 p.m.

Debbie Moore	Present
Glenn Johnson	Absent
Cynthia Meyer	Present
Matthew Lassen	Present
Cheryl Lee	Present
Greg Sherry	Present
Pablo Serna	Present
Ishmael Harris	Present
Dawn Kana	Present

2. CITIZEN COMMENTS

There were no citizen comments.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

- 3A. Discussion and consider action to submit comments to City Council on the update and amendment to the Bastrop Code of Ordinances, Chapter 13, Article 13.12, entitled "Impact Fees", updating the land use assumptions, capital improvement plan and amending impact fees for water and wastewater utilities, and move to include on the July 28, 2020 City Council Agenda.

NewGen Strategies & Solutions presented the findings from the City of Bastrop Water and Wastewater Impact Fee Update to the Commission.

The Committee and New Gen Strategies discussed the proposed cost increases to the Impact Fees. Dawn Kana stated that currently it costs \$4,500 to obtain a water meter from Aqua, any waterline that needs to be extended further than 30 feet for service costs the property owner \$8 a foot to install, and currently an aerobic septic system costs anywhere from \$7,800 - \$9,000 to be installed, therefore from a reality perspective our proposed rate increase seemed well within reason.

Pablo Serna made a motion to recommend approval of the amendment to the Bastrop Code of Ordinances, Chapter 13, Article 13.12, entitled "Impact Fees", updating the land use assumptions, capital improvement plan and amending impact fees for water and wastewater utilities, and move to include on the July 28, 2020 City Council Agenda. Cheryl Lee seconded the motion and the motion carried unanimously.

Impact Fee Advisory Committee

June 25, 2020

Meeting Minutes

4. ADJOURNMENT

Cynthia Meyer made a motion to adjourn at 7:00 p.m. Greg Sherry seconded the motion, and the motion carried unanimously.

DRAFT



STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 10A

TITLE:

City Council shall convene into closed executive session pursuant to Sections 551.071 and 551.072 of the Texas Government Code to deliberate the acquisition of property associated with Fairview Cemetery.

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager





STAFF REPORT

MEETING DATE: July 28, 2020

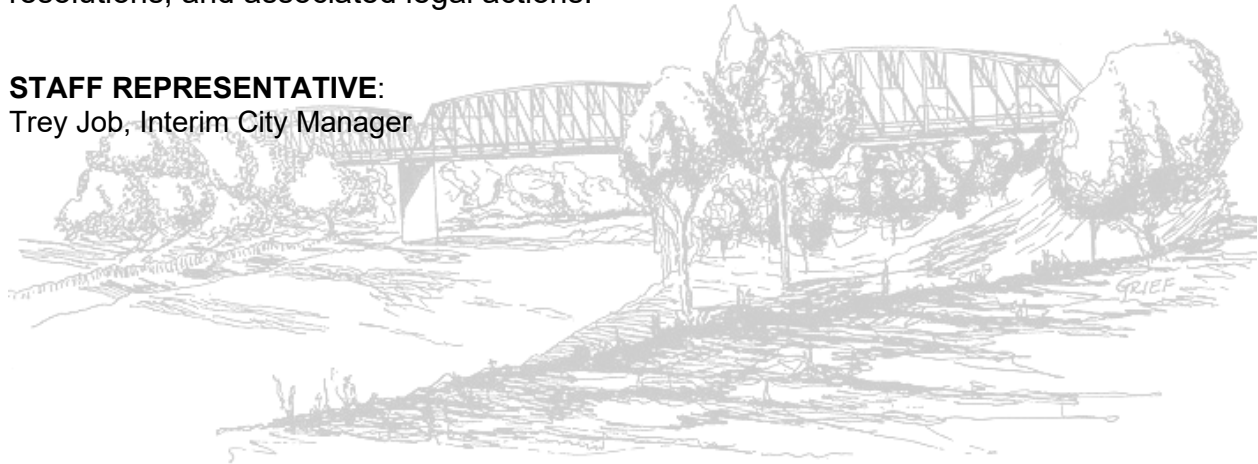
AGENDA ITEM: 10B

TITLE:

City Council shall convene into closed executive session pursuant to Texas Government Code Sections 551.071 and 551.072, to seek the advice of legal counsel, and to deliberate upon the acquisition of real property interests associated with the construction of Wastewater Treatment Plant #3 at 385 SH 304, Unit B, Bastrop, TX 78602, and its collections systems, including all related agreements, authorizations, easements, resolutions, and associated legal actions.

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager





STAFF REPORT

MEETING DATE: July 28, 2020

AGENDA ITEM: 11

TITLE:

Take any necessary or appropriate action on matters posted for consideration in closed/executive session

STAFF REPRESENTATIVE:

Trey Job, Interim City Manager

